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Final Development Plan
Final Revision and Approval
October 26, 2016



ACKNOWLEDGEMENTS

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Note

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This document is the Final Development Plan (FDP) for the Heritage Gardens at Erickson Farms development. The information within this revised FDP is intended to supplement and refine the 2006 Final Development Plan and the Preliminary Development Plan that was approved by the Village Board on June 21, 2004. It is intended to meet the requirements of the Planned Unit Development (PUD) District, section 15.15(4)(g) of the Village of DeForest Zoning Code.

The document includes an overall site plan and landscaping plan. It also provides lot requirements for three of the residential districts. These three districts encompass all of the proposed single-family lots and the duplex condominium lots, and are intended to be constructed during the initial phases of the development. A Final Development Plan for the remaining multi-family districts will be submitted for Village approval prior to development of these areas.

DEVELOPMENT SUMMARY

Background: On September 23, 2004, the property was granted urban service area by the Regional Planning Commission, with the support of the Town of Windsor. The Madison Metropolitan Sewerage District service area includes this development entirely.

A concept plan for a residential development of the property was initially discussed in the fall of 2002. Since then, the owner, Elaine Erickson, has appeared several times before the Planning and Zoning Commission to discuss her neighborhood concept, her desire to develop community gardens, and the need for the residential development to support the development of the Intermezzo Gardens. Ms. Erickson emphasized her desire to control the development to ensure high quality. In the fall of 2003, the Commission gave Ms. Erickson the direction that if a high quality development providing needed up-scale housing was proposed, development planning in 2004-2005 could be consistent with the master plan phasing. The Commission emphasized that the development should incorporate the type of housing currently lacking in the community, which is “move-up” homes that current residents can purchase instead of leaving the community. The use of PUD zoning was also stressed to allow for flexibility of the development, provide a plan for the entire 170 acres, and allow additional Village control on deed restriction enforcement as the desire for a high quality development was accentuated.

Ms. Erickson and her consultants met with staff several times beginning in early 2004 to review the concept plan and incorporated many of the recommended changes into the current document. Changes included elimination of cul-de-sacs, removal of lots around the community park, lots to accommodate higher-value homes, and increased road connections to the east and south.

Development Density and Types: Heritage Gardens at Erickson Farms is a 512-unit development on 169.5 acres for an overall density of approximately 3.00 units per acre. The development would have an approximately 60% single family – 40% multi-family breakdown; the multi-family structures on the west side of the development will be predominantly owner-occupied with the potential for some senior development rentals. There will be neighborhood-compatible commercial and/or community space on Vinburn at the northwest corner of the development.

Consistency with Surrounding Development: The proposal is complementary to the existing Antique Acres and Holland Fields subdivisions, providing parks, green spaces and trails connecting the neighborhoods. The development provides the north-south extension of Yorktown Road, important for traffic circulation, community parkland adjacent to the Holland Fields subdivision, and continuation of the bike trail from Antique Acres to Holland Fields.

Park/Open Space Plan: Greenways, active parkland and garden development are proposed throughout the neighborhood, comprising approximately 24 percent of the total land area.



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DEVELOPMENT SUMMARY

Intermezzo Gardens are proposed to be the development showcase, incorporating labyrinths, perennial, and interpretive gardens. They are to be privately developed and maintained, but open to the public.

Community Park – The 4.25-acre park site in the southeast corner of the development will be combined with parkland in Holland Fields and the Ripp property to create a central community park able to support active recreational activities.

Pocket Park – To provide additional neighborhood open space and place to assemble, the neighborhood incorporates a small 0.50-acre park.

Environmental Corridors: There are approximately 13.7 acres of wetlands adjacent to the proposed Intermezzo Gardens and the stormwater detention facilities. The environmental corridors were mapped as part of the urban service area application process. Environmental corridors were subsequently adjusted to correspond with wetlands and other natural and recreational features, generally within areas designated as outlots on the plat.

Street/Trail Network: The development does a good job both connecting to established developments and planning for connections for future developments.

Traffic Generation: Using DOT guidelines, it is anticipated that, at full build-out, the development will generate approximately 5,000 automobile trips each day. The development is designed with generally good access throughout the subdivision, including connections to future developments south and east. The access points to Vinburn Road line up with existing streets to the north; Tanglewood and Yorktown and the roads to the south will be required to line up with the replat of Holland Fields. The extension of Yorktown will be a north-south collector road planned to extend south to Windsor Road. The arterial is crucial to keep local traffic off of the upgraded USH 51.

Roadway Design: The development proposes four street cross-sections for the arterial, collector, and neighborhood streets.

Trails: The development will incorporate an extension of the trail through Antique Acres, connecting to Holland Fields to the south.

The development will be required to provide right-of-way for the future Vinburn Road improvements. Acceleration and deceleration lanes will be required to be put in at the time of development of the new Vinburn Road cross streets (Tanglewood and Yorktown to the south).

The neighborhood will be required to have landscaped berms along Vinburn Road and the railway corridor to buffer the neighborhood.

Landscape berms along Vinburn Road may be waived by the Village Planning and Zoning Commission as part of subsequent FDP approvals where the proposed use would instead benefit from exposure to Vinburn Road.

Utilities and Public Facilities: The development is a logical extension of existing Village water and sewer facilities, which are available at the edges of the development. As previously mentioned, the development will provide active parkland, privately maintained gardens and pocket parks, and continuation of the Village trail system. At build-out, the development will add approximately 292 students to the school district.

SUPPLEMENTAL COMMENTS

Elaine Erickson’s family has farmed the land called Heritage Gardens since her great grandfather, Iver Munsen, moved to the area in the late 1800s. Iver Munsen was active in the community as well as being a successful farmer. He served as Town of Windsor Board Chairman and was instrumental in establishing the first high school in the Village of DeForest along with his contemporary Ole Holum. Iver Munsen also served in a Wisconsin regiment in the Civil War.

Elaine’s father, Millard Erickson, was also a successful farmer and land developer. Millard served on the Dane County Board and was Windsor Town Chairman for many years. Millard Erickson developed the land known as Oak Springs located on the south side of DeForest. Oak Springs is an upscale development with a spring fed lake called Oak Springs Fish Hatchery.

Elaine has fond memories of growing up on the farm and of her family that helped to shape the community. She wishes to honor her family with the development of Heritage Gardens at Erickson Farms. The developer of the single family lots will use the name Heritage Gardens at Erickson Farms on all signs, brochures, and promotional materials to ensure the historical connection to the Erickson family.

The Village of DeForest has grown beyond the boundary of the farm, and utilities such as sanitary sewer, water main, and gas/electric/telephone are all available to serve the property.

Elaine Erickson wishes to go far beyond the standards for residential subdivisions which have been developed in the past. Elaine has rejected many offers from developers that would continue the status quo, and instead collaborated with builders with similar standards as her own to develop the single-family lots. Beyond that commitment, Elaine has insisted on deed restrictions and protective covenants which will ensure a high quality project in which the Village can take pride.

DEVELOPMENT SUMMARY

Among the amenities which will be included in the subdivision is a 10.85-acre parcel with a private garden containing a prairie labyrinth as the main theme. The garden will be designed by a well-known landscape architect and developed by a high quality local landscaper. The gardens will feature a user-friendly walking trail system, possible water features, viewing areas, rest areas, and flower gardens which can be developed and maintained by local residents or organized garden clubs. The garden construction will be financed by an initial grant from Elaine Erickson. Initial Gardens maintenance will be provided by a yearly homeowner association fee. Maintenance funding in the future will be provided through a trust fund created by Elaine Erickson to take effect upon her death, which will be in the form of a bequest at some point in the future.

An existing tobacco shed which was used by Elaine's brother is located near the garden area. The tobacco shed is of contemporary design, but the future vision is to rebuild it using traditional materials such as barn boards and timbers from existing Erickson buildings or other area buildings which need to be razed. The future shed design will allow for a greenhouse, historical, and informative area, and a large inside area to be used for garden club events, farm markets, educational events, community functions, or private events. Design and construction of the future tobacco shed can be done through private donation, fund raising, garden trust donation or possible public grant.

One small neighborhood park is included in the single-family area. The park will be public and maintained by the Village of DeForest.

A large public park (Iver Munsen Park) located in the southcentral part of the subdivision will be an active recreation park and will complement the Holland Fields Park and future parkland dedication on the Ripp property. Landscaping and park equipment may be furnished by the Village of DeForest or the Developer. General landscaping, such as grading and seeding, will be done by the Developer.

A north/south pedestrian trail will be constructed by the Developer on the west side of the single-family development along the east side of the wetland. The trail will connect an existing trail in Antique Acres to the Holland Fields subdivision in the Town of Windsor.

Several stormwater detention basins and stormwater greenways or swales will be constructed within the subdivision. Stormwater conveyance or control structures will be dedicated to the public and maintained by the public, but constructed by the Developer. Landscaping for these areas will be designed and constructed by the Developer and will be seeded with natural prairie seed with an emphasis on blooming plants.

Landscape requirements for single family lots will be based on a point system and will require flowering trees and shrubs for each lot in the single-family area.

A small creek runs through the property on the westerly multi-family gardens area. This creek has wetlands associated with it and has been determined navigable in the southern half. This creek will be maintained as is unless maintenance or periodic upgrades are necessary. The northern portion of the creek is protected by a public drainage easement. Future maintenance of the creek will be by the Village of DeForest.

Street terrace landscaping will be similar to other subdivisions that reflect the Village of DeForest standards of one tree every 50 feet.



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DEED RESTRICTIONS AND COVENANTS

GENERAL

The general purposes of these controls are to help ensure that the lots will become and remain an attractive community; to preserve and maintain the natural beauty of the lots; to ensure the most appropriate development and improvement of each lot, including construction of attractive and harmonious residential structures; and to ensure the highest and best residential and non-residential development of the lots.

The Site & Structure Attributes and Building Process guidelines were taken largely from the approved Preliminary Development Plan for Heritage Gardens.

These Covenants are general in nature and apply to all single family and duplex lots. Covenants for the multifamily portions of Heritage Gardens will be included with a separate or amended Final Development Plan, which is being submitted as a separate document. Developer intends to develop the Subdivision in phases, and may record additional Covenants that are specific to each phase of lots prior to the sale of lots.

- Owners acknowledgments. All Owners are subject to the Covenants as may be provided for herein and are given notice that (i) their ability to use their privately owned property is limited thereby; and (ii) the Developer may add, delete, modify, create exceptions to, or amend the Covenants as provided for herein.

All Owners are hereby notified that the Subdivision shall include non-single-family residential development, including, by way of illustration, the development of condominiums, apartments, and retail/commercial centers; and each Owner hereby forever releases and waives any right to object to such development within the subdivision which is conducted in accordance with the terms and conditions of this declaration. Each owner, by acceptance of a deed for a lot, acknowledges and agrees for himself or herself, and for his or her heirs, representatives, successors and assigns, that the use, enjoyment and marketability of his or her lot can be affected by the covenants and future development within the subdivision.

- Environmental Rules and Restrictions. Certain lots may abut wetlands or environmental corridors. It is the owner's duty and responsibility to know and understand the laws, rules and regulations governing wetlands, environmental corridors, buffer zones and other restrictions controlling the use and enjoyment of the lots which are affected by such laws, rules and regulations.
- Parking. Parking of commercial or service vehicles, including lawn tractors, owned or operated by residents within the lots shall be prohibited unless kept inside garages. Storage of boats, travel trailers, mobile homes, campers, and other recreational vehicles on any lots shall be prohibited except in garages. This section shall not prohibit the temporary parking of any vehicles for the purpose of loading or unloading at the Lot at which parked, for a period

not to exceed 24 hours. No cars or other vehicles shall be parked on lawns or yards within the Lots at any time.

- Appearance. Each Owner shall be responsible for maintaining the lot and all structures located thereon in a neat appearance at all times. This covenant shall apply to all lots from the date of purchase, regardless of whether a building has been or is in the process of construction. The owner's obligation shall include, but is not limited to the following:
 - (a) Noxious Weeds. All areas of Lots not used as a building site or lawn or under cultivation as a garden shall have a cover crop or be so cultivated or tended as to keep the areas free from noxious weeds. All lawns shall be free from noxious weeds.
 - (b) General Upkeep. The Owner shall keep the Owner's lot and its buildings and other improvements in good order and repair and free of debris, including, but not limited to, the pruning of all trees and shrubbery, the painting or other external care of all buildings and other improvements in a manner and with such frequency as is consistent with good property management.
 - (c) Trash. Trash containers shall be kept inside of garages and may be placed upon the curb only on days of trash collection. No garbage, refuse or cuttings shall be placed upon the curb unless in a suitable container.
- Activities. No noxious or offensive trade or activity may be carried out on a lot which will become a nuisance to the neighborhood or any other lot within the lots. This shall not be construed to prevent a family garden or orchard, provided that all vegetable gardens and orchards shall be located in back or side yards, and shall be reviewed and approved by the Architectural Review Committee. No firearms shall be discharged on or about the lots.
- Re-Subdivision. No Lot shall be re-subdivided without the prior written approval of the Architectural Review Committee. This section shall not be construed to prevent the use of one lot and part or all of another lot or Lots as one building site.
- Enforcement. The covenant provisions included in this FDP are enforceable by the Village, notwithstanding any subsequent amendments to the recorded version of the covenants. All Lots are further subject to the applicable zoning laws, ordinances and building codes, whichever is most restrictive, including, but not limited to, the Final Development Plan. Chapter 14: Building Regulations of the Village of DeForest Municipal Code shall continue to apply within the Subdivision.

BUILDING PROCESS

- Architectural Review. For all buildings or other improvements of any kind or nature to be constructed, erected or placed on any single family lot, the plans, specifications, site, grading and landscaping plans for all such buildings must be submitted to the Heritage Gardens Architectural Control Committee, for written approval as to appearance, the quality of workmanship and materials, attractiveness and harmony of exterior design, including exterior

DEED RESTRICTIONS AND COVENANTS, CONTINUED

colors, size, location with respect to topography and finish grade elevation, height of improvements, site layout, roof pitch, location of improvements and amount, quality and nature of landscaping, variation of house designs and appearance, and compliance with the restrictions set forth herein, prior to commencement of any construction on any lot.

- Required Submissions.

Plans and Specifications. Two sets of drawings and written specifications of the proposed structures showing at a minimum floor plans, elevations of all views of the structure exterior finishes, roofing type, driveway location, structure locations, description of exterior materials and colors, fence and wall details.

Landscape and Grading Plans. Two sets of landscape and site plans for the lot identifying proposed grades and landscaping, including a narrative description of how the Owner will comply with the landscaping requirements set forth in this document or with any additional Covenants subsequently recorded by the Developer or the Owners. The Architectural Control Committee shall have the primary responsibility for enforcement of the Deed Restrictions and Covenants, including those related to landscaping. The Village Zoning Administrator is authorized to enforce the Deed Restrictions and Covenants included in this Final Development Plan as zoning requirements in the event the Architectural Control Committee does not fulfill its responsibility.

Site and Grading Plan. Two sets of site and grading plans which indicate the elevation of the building relative to street elevation. Approval of the Architectural Control Committee shall not be granted unless the finished grade is compatible with the finished grade of adjacent lots unless such proposed finished grade is compatible to what the Committee deems to be a reasonably desirable grade level for the lot in question.

- Architectural Control Committee (ACC) Composition. The ACC shall consist of (a) Elaine Erickson, and (b) her spouse, Jeffrey Hollander, and (c) an architect or landscape architect in private practice in Dane County, Wisconsin (or other qualified person) selected by one of them and approved by the Village of DeForest Plan Commission. The ACC shall act by majority vote. In the event that either Elaine Erickson or Jeffrey Hollander resigns or is unable to act, then the continuing member of the two of them shall select a replacement for the person who has resigned or is unable to act. In the event that both Elaine Erickson and Jeffrey Hollander resign or both are unable to act, then the ACC shall consist of three persons selected by Elaine Erickson, by her spouse in the event of her death or inability to act, by his or her personal representative or trustee, or by their trust or other successors or assigns thereafter, except that in the event that the control of the Association has been taken over by the homeowners in the Subdivision, the ACC shall be selected by the Board of Directors of the Association in accordance with the Bylaws of such Association, for terms of one (1) year each, but the requirement for the professional architect or landscape architect or other qualified person, to be

approved by the Village of DeForest Plan Commission, shall remain in force. After Elaine Erickson and Jeffrey Hollander, and their affiliates, have no interest in any of the land located within Heritage Gardens in its entirety, and provided that 10 years have passed since the recording of the final plat, the ACC shall be elected by the Board of Directors of the Association, in accordance with the Bylaws of such Association, for the terms of one (1) year each, but the requirement for the professional architect or landscape architect or other qualified person, to be approved by the Village Plan Commission, shall remain in force. In the event of the failure of the Association to elect a Committee in any year, the most recently elected members shall continue to serve until successors are duly elected. The costs of the ACC shall be paid from charges made by the ACC to the party seeking its approval in each instance.

- Architectural Control Committee Approval. Building permits for residential, commercial or other private use structures requiring a building permit will not be issued without the consent of the ACC. The purpose of this provision is to ensure that the design of buildings meets the covenants and overall design intent of the development. The owner of any Lot shall obtain architectural approval from the ACC before requesting a building permit from the Village of DeForest, the ACC shall place a stamp of approval on the approved architectural plans so approved, and the owner of any Lot shall provide such stamped-approved plans to the Village in order to get a building permit. Any subsequent plan revisions shall comply with the foregoing procedures.
- Ongoing Alterations. No alteration in the exterior appearance, design, exterior color, size, location with respect to topography and finish grade elevation, height of improvements, site layout, roof pitch, location of improvements and amount, quality and nature of landscaping shall be made without the prior written approval of the Committee.
- Construction and Landscape Installation Deadline. Construction of all single-family buildings within the Subdivision shall be completed within five months after issuance of a building permit for the building. Landscaping (including grading, sodding, seeding, and landscape plant installation) and hard-surfacing of any driveway on any Lot shall be completed within ninety (90) days of final inspection approval by the Village building inspector provided weather conditions so allow, provided however, that if occupancy occurs between October 15th and April 1st, landscaping may be delayed until July 1st, provided that care is taken to control soil erosion. If construction or landscaping is delayed due to matters beyond the control of the Owner, the time for completion shall be extended by the Architectural Control Committee by the period of the delay, up to a maximum 45-day extension.
- Enforcement of Design Review. The Developer, the Architectural Control Committee, and any Owner shall each have the right to sue for and obtain an injunction or any equitable remedy to prevent the breach of, or to enforce the observance of, the architectural controls. Any owner who violates a provision of these controls shall be liable for reasonable attorney's fees and court costs incurred in any such action.

DEED RESTRICTIONS AND COVENANTS, CONTINUED

- Variance. The Architectural Control Committee must first review and recommend any homeowner application to the Village for a variance of requirements as established by Deed Restrictions and Covenants in the Final Development Plan.
- Building Regulation. Chapter 14: Building Regulation of the Village of DeForest Municipal Code shall continue to apply within the development.

SITE AND STRUCTURE ATTRIBUTES

The following are requirements for all single family and duplex structures in the Heritage Gardens at Erickson Farms Development unless otherwise specified:

- Minimum Floor Area. The following minimum floor area requirements shall apply to all single-family or duplex residential buildings:
 - (a) No detached single-story building shall have less than 1,650 square feet.
 - (b) No detached two-story building shall have less than 2,000 square feet.
 - (c) No detached raised ranch, bi-level, or tri-level building shall have less than 1,650 square feet on the main level.
 - (d) No duplex shall have less than 3,000 square feet total between the two units.
For the purposes of determining floor area, stair openings shall be included, but open porches, screened porches, attached garages, and basements, even if the basements are finished, shall be excluded.
- Exterior Appearance. All buildings shall have fascia which shall be a minimum of 8” in width and shall be made of natural materials or give the same effect as natural materials. The ACC shall have the right to require brick, stone, shutters, corner boards and other architectural materials and details which it deems necessary or desirable for a particular submission, including a minimum percentage of the building facades surfaced with such elements. The ACC shall require that at least 20% of the total front façade area of each principal building be surfaced with brick, stone, wood (or wood composite) siding, or some combination. “Total front façade area” includes all walls, windows, doors, gables, and other building sections and surfaces along the front building façade of the principal building.” Exterior appearance and materials shall either meet or exceed the prevailing appearance and materials in existing single- and two-family residences in Heritage Gardens.
- Roof Pitch. All buildings erected on the Property shall have a minimum roof pitch (on the major roofs) of not less than 6/12 pitch, but a variance from this minimum may be granted by the Architectural Control Committee, whichever is then applicable, in its discretion.
- Window Treatment. All buildings shall have shutters or window wraps on the front and side elevations. Corner lots shall have four-sided architectural elements, including window wraps and shutters.
- Garages. For single family buildings, the garage shall not extend closer to the street than 5 feet in front of the structural wall on the house façade and any other similar elements including a covered front porch, provided the porch is not deeper than 5 feet. This restriction does not apply to side-loaded garages. For single family buildings, the number of lineal feet of garage doors in width cannot be greater than 50% of the total number of lineal feet of the front façade in width of the entire building. This limitation shall not apply to buildings with garage doors that face any side yard.
- Outbuildings. No outbuildings shall be allowed at anytime.
- Existing or Prefabricated Buildings. No buildings previously erected elsewhere may be moved onto any lot, except for new prefabricated construction approved in writing in advance by the Architectural Control Committee.
- Driveways. Unless otherwise approved by the ACC, all driveways shall be concrete or brick and shall be installed within the time required by the Construction and Landscape Installation Deadline on page 7.
- Post Lights & Mailboxes. To provide continuity throughout the lots, each owner of a single-family lot shall, at their expense, purchase and install a mailbox/post and a post light in accordance with specifications to be provided by the Architectural Control Committee. The owner shall request the specifications from the Committee prior to purchasing a mailbox/post and post light.
- Exterior Lighting. Any exterior lighting installed on a lot shall either be indirect or of such controlled focus and intensity that the lighting will not disturb the owners of adjacent lots.
- Decks and Porches. All decks and porches shall be required to be stained or painted prior to occupancy.
- Basements. All single family and duplex residences shall have full basements. Basements for multi-family units will be addressed in FDP to be submitted at a later date.
- Corner Lots. Corner lots shall have four-sided architectural elements, i.e. window shutters or window wraps.
- Signs. No signs of any type shall be displayed on any lot without prior written approval of the Architectural Control Committee except lawn signs of not more than seven square feet advertising a home or lot for sale or signs of any size displayed by the Developer and part of the Developer’s marketing of the Lots.

DEED RESTRICTIONS AND COVENANTS, CONTINUED

- Fencing & Screening. Owners shall not install any fence or wall of any kind without prior written approval from the Architectural Control Committee. Owners shall not cause a complete visual screening of the front, rear and side boundaries of any lot by the use of landscape plantings or other means, without prior written approval from the Architectural Control Committee. Fences and other structures shall otherwise meet applicable Village zoning requirements for residential zoning districts.
 - Landscaping Plan. Detailed landscape guidelines are set forth in this document. These guidelines shall be complied with and a landscaping plan shall be submitted to the Architectural Control Committee for approval.
 - Variances. The Architectural Control Committee shall have the right to grant a variance to any of the Site and Structure Attributes and Single Family Housing Variety Standards in this FDP document. No variance may take effect with respect to any Minimum Floor Area, Exterior Appearance, Garages, Outbuildings, or Single Family Housing Variety standard without the written approval of said variance from the Village of DeForest Zoning Administrator. No variance that negatively affects the approved character of Heritage Gardens shall be granted by the Architectural Control Committee or Zoning Administrator. Documentation of ACC approval of each variance must be provided to the Village, on or accompanying stamped-approved plans, before a building permit will be issued that incorporates such variance.
 - Covenants and Restrictions. The original Restated Declaration of Covenants, recorded December 18, 2006, Document #4263097, and the First Amendment to the Restated Declaration, to be recorded in accordance with Village Board Resolution 2013-046, are available upon request. In the event of a conflict between the FDP text and the Declaration or Amended Declaration, the FDP shall control for zoning purposes.”
3. Providing an intersecting hip roof on the main hip roof, if the height of the intersecting hip roof is at least 50 percent of the height of the main roof.
 4. Providing a shed roof when used as a front porch roof for a minimum of 50 percent of the entire width of the house, excluding area of the garage.
 5. If the front soffit is increased significantly and is combined with columns at least 6 inches in width or other architectural features of a similar magnitude which reach the roof line of the highest story.
 6. Rotating gable roofs 90 degrees on the building.
 7. On a tri-level residence or other building type that has 3 independent major roof areas, the changing of 2 out of 3 roof lines.
- c. **Windows**. The following differences in the size, location or type of windows shall be deemed sufficient to render buildings containing such changes and built on adjacent lots to be dissimilar:
1. Changing from single windows to a multiple window arrangement.
 2. Changing from multiple window arrangement to single windows.
 3. Changing the type of windows (e.g., a casement to single hung).
 4. Providing a bay or bow window variation in the area of the predominant window.
 5. Where, because of its size, location or design, one window is the predominant window on the front elevation or facade, if the size, location or type of that window is changed to render the dwelling dissimilar, then no other window need be changed.
- d. **Construction Material or Color**. The following differences in construction material between adjacent Single-Family dwellings as seen from the front of the dwellings shall be deemed sufficient to render buildings containing such changes and built on adjacent lots to be dissimilar:

SINGLE FAMILY HOUSING VARIETY STANDARDS

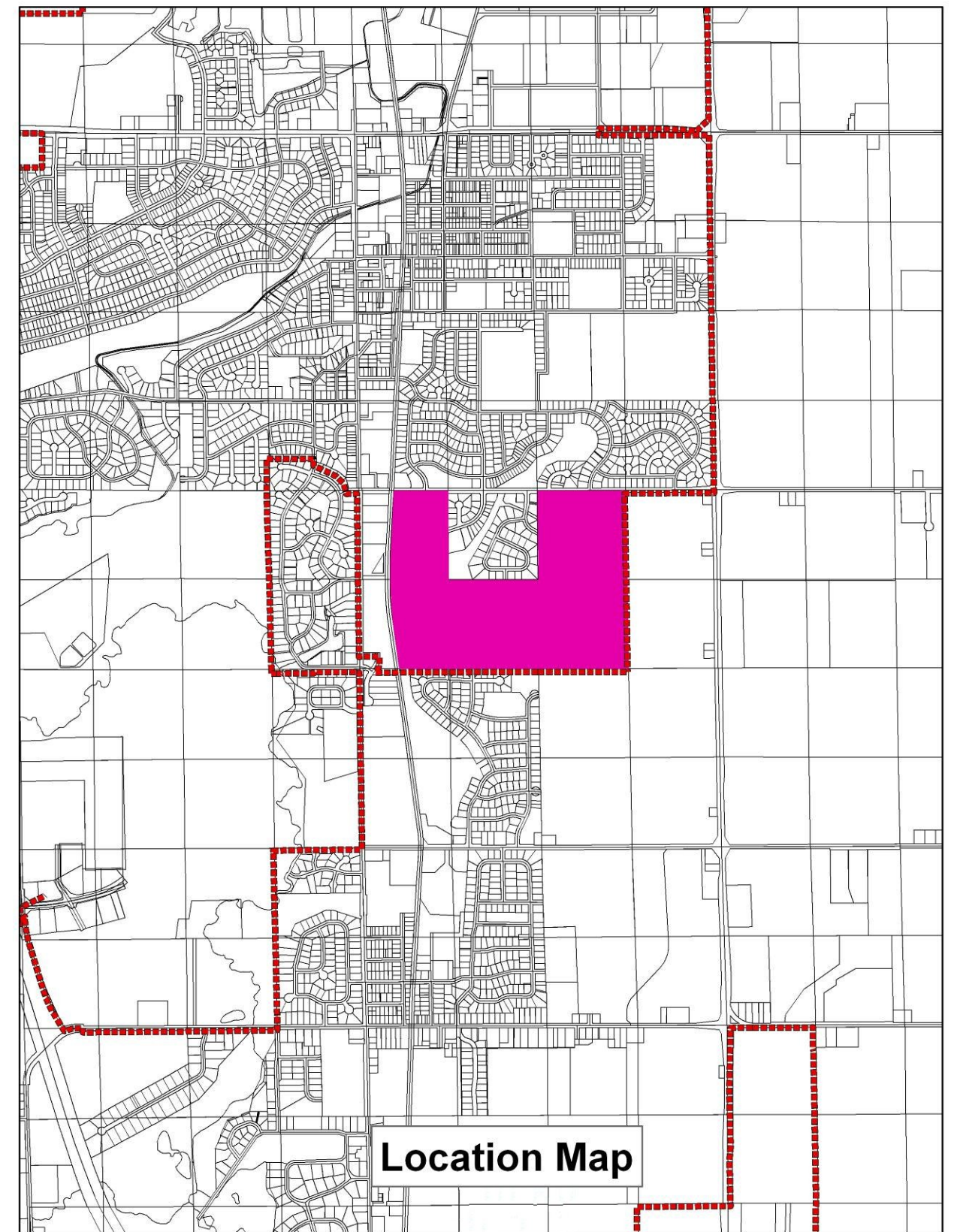
- a. **General**. No two Single-Family Detached dwellings of similar front elevation or facade shall be repeated on any abutting lots or within 5 lots on either side of the street on which the dwellings front, including lots which are directly across the street from one another. Front elevations or facades of the same floor plan shall be deemed to be similar when there is no substantial difference in roof lines; and no substantial change in windows of either size, location or type; and either no change in the color of materials used or no substantial change in the kind of materials.
- b. **Roof Lines**. The following differences in the roof lines of Single-Family Detached dwellings as seen from the front of the dwelling shall be deemed sufficient to render buildings containing such changes and built on adjacent lots to be considered dissimilar:
1. Changing gable roofs to hip roofs.
 2. Providing an intersecting gable roof on the main gable roof, if the height of the intersecting roof is at least 50 percent of the height of the main roof.

LOCATION

Heritage Gardens at Erickson Farms is a 170-acre development located in the Village of DeForest, Wisconsin. Its location in the community fits in well with the surrounding land uses. The site is surrounded by agricultural, commercial, and residential properties.

To the north of the property are residential uses, which include Antique Acres, a newer single and multi-family residential subdivision; Highfield Terraces (a mix of single family and multi-family); and Liberty Land subdivision, a single family residential subdivision, along with agricultural fields. To the east of the property is additional agricultural land, with a single family subdivision called Holland Fields to the south of the property in the Town of Windsor. To the west of the property is the Canadian Pacific Railroad, with agricultural and commercial uses further west.

The majority of Heritage Gardens is composed of single family residences of three different types (Greenway, Prairie and Single Family Condominiums). The western third of the site is primarily mixed use development and open space. Erickson Parkway and Yorktown Road are the major thoroughfares within the neighborhood. The southwestern portion of the neighborhood is comprised of significant open space, including Intermezzo Gardens and existing wetlands. Additional park and open space areas are provided throughout the neighborhood.



DEVELOPMENT SCHEDULE

The entire subdivision is expected to develop in phases. Except for Phase 5W and as otherwise approved by the Village Board, phasing shall be in general accordance with the phasing schedules below and with utility service availability.

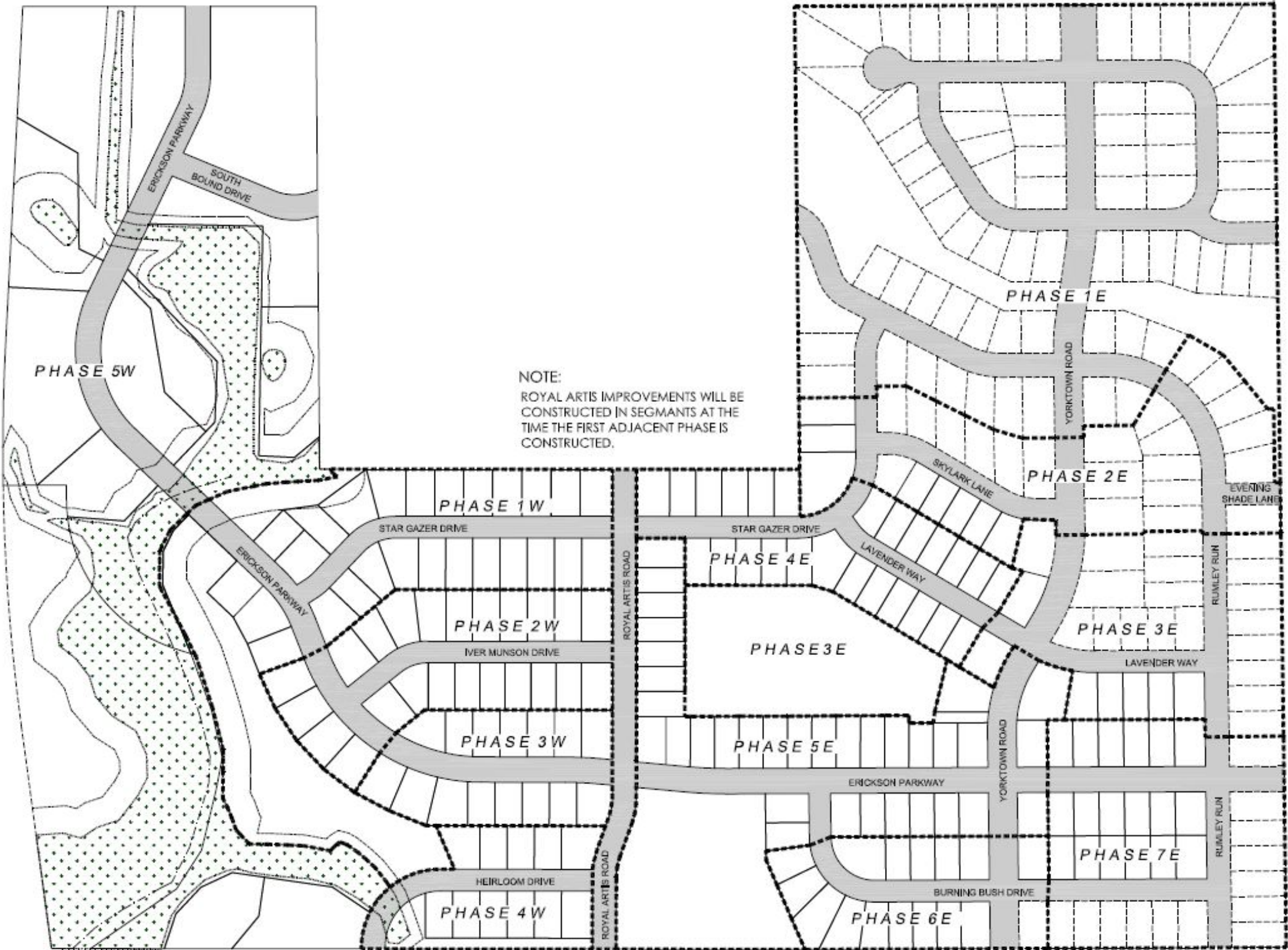
Predicted impact on the school system is based on population and school enrollment figures used by the Dane County Regional Planning Commission. The anticipated impact of the proposed 202 multi-family units is 64 additional students. The impact from the 306 single-family units is estimated at 228 students. The tables and map on this page illustrate the anticipated phasing schedule.

Phasing Schedule - EAST

	Single Family	Multi-Family
	Total Units by Phase	Total Units by Phase
Phase 1E	72	0
Phase 2E	28	0
Phase 3E	26	0
Phase 4E	25	0
Phase 5E	33	0
Phase 6E	16	0
Phase 7E	31	0
Total - All	231	0

Phasing Schedule - WEST

	Single Family	Multi-Family
	Total Units by Phase	Total Units by Phase
Phase 1W	26	0
Phase 2W	23	0
Phase 3W	15	0
Phase 4W	11	0
Phase 5W	4	202
Total - All	79	202



GENERAL SITE PLAN

The following districts are included in the site plan (as shown on page 11):

- Prairie Homes
- Greenway Homes
- Duplex Condominiums
- Single Family Condominiums*
- Multi-Family*
- Commercial (may be mixed-use commercial/residential)*
- Senior Housing*

(*District requirements to be determined at a later date in a new or amended FDP)

PEDESTRIAN / BICYCLE ACCESS

The developer shall construct a permanent, paved, 10-foot wide section of the DeForest - Windsor trail between the end of the Antique Acres trail and the Holland Fields, with the schedule to be determined by development agreement(s).
The Village may stripe on-street bicycle lanes in Yorktown Road.
The developer shall construct five-foot wide concrete sidewalks along both sides of all internal streets withing heritage Gardens, except that:

- The developer is not required to add more sidewalks within the completed Phase 1E.
- Sidewalk is required only on the south side of Skylark Lane.
- Sidewalk is required only on the south/west side of a segment of Rumley Run that is north and west of Evening Shade Lane.
- Sidewalk is required only on the north side of Iver Munson Drive.
- Sidewalk is required only on the west side of the segment of Star Gazer Drive between Rumley Run and Skylark Lane.

ILLUMINATED AREAS

Street lighting shall meet Village and utility standards, per engineering plans and development agreements associated with each development phase. All lighting on private property shall comply with exterior lighting requirements in the Village's zoning ordinance.

BUFFERING AND SCREENING

Landscaped buffer strips are intended to provide separation between this development and the surrounding land uses. These buffers are planned at widths of either 20 or 30-feet, and are located along the Canadian Pacific Railroad tracks, Vinburn Road, and parts of the surrounding residential developments. Several of the proposed open spaces are located adjacent to the perimeter of the development, providing additional buffering from future surrounding uses.

In the case of Vinburn Road, the buffer will be 30 feet, except where waived by the Village Planning and Zoning Commission as part of subsequent FDP approvals where the proposed use would instead benefit from exposure to Vinburn Road.

	Greenway Homes	Prairie Homes	Duplex Condominiums	Multifamily	Single Family Condominiums
Approximate Acreage (excluding streets and open space)	6.5	69.5	6.4	7.3	1.2
Number of Dwelling Units	27	279	24	178	4
Approximate Density (units/acre)	4.2	4.0	3.8	24.4	3.3
Permitted Uses (generally)	Single Family Residential, Open Space	Single Family Residential, Open Space	Duplex Residential, Open Space	Multifamily Residential, Open Space	Multifamily Residential, Open Space

PUBLIC AREAS

Open space is one amenity that will assist in creating the unique character of Heritage Gardens at Erickson Farms. Twenty four percent of the gross area of the site will be utilized as open space. These open spaces will be provided throughout the development, and are intended to be located within walking distance of all residences. The 4.25-acre public park is located such that it may become a future joint community park with neighboring subdivisions.

STREETS

All streets within the development are intended to be dedicated to the public. Street right-of-way widths are primarily 60 or 66 feet, with pavement widths of 32 to 38 feet. The two main thoroughfares will be wider. Erickson Parkway is shown as a 70-foot right-of-way, with a 38 or 40-foot paved surface. Yorktown Road is proposed as an 80-foot right-of-way, with a 44 or 48-foot paved surface.

The section of Yorktown Road closest to Vinburn Road serves as an entry boulevard, with a 100-foot right-of-way, with two paved driving lanes (22-24 feet) separated by a landscaped boulevard.

UTILITIES

All storm, sewer, sanitary sewer and water mains will be either in public streets or on easements dedicated to the Village and its assigns.

Number of Lots	Net Acreage	Net SF
Park Land		
2	4.8	209,088
Road Right-of-Way		
	31.4	1,368,990
Greenway Corridors		
13	31.5	1,528,956
Single-Family		
306	76.0	3,310,560
Single & Duplex Condominiums		
4	7.6	331,056
Multi-Family		
1	2.5	108,900
Commercial		
1	4.8	209,088
TOTAL:	158.6	6,908,616



DISCLAIMER:
 No area planned for SingleFamilyCondos, Duplex Condos, Multifamily, Senior Housing, and Commercial Use on this map may be developed as such until the Village approves a subsequent Final Development Plan for such areas. Each such Final Development Plan shall be guided by this map and document, by the latest Village-approved Preliminary Development Plan for Heritage Gardens to the extent not conflicting with this map and document, and by an allowance for community and recreational uses within each of these areas.

PUBLIC AND PRIVATE OWNERSHIP

The single family lots shall be part of a neighborhood association which shall have the power to levy assessments to maintain common areas, private open spaces, private trails, and stormwater detention areas, as well as to pay any assessment required for the operation and maintenance of the Heritage Gardens, and to make assessments for the enforcement of the covenants.

Elaine Erickson, or her spouse or personal representative, or her or his trustee, or the entity formed to manage the Heritage Gardens or to hold funds donated by Elaine Erickson or her spouse for the Heritage Gardens shall be entitled to establish the assessment for the Heritage Gardens project, which sum shall be assessed and collected yearly by the association. The fee will be defined as a percent of the Home Owners Association fee and will increase as that fee increases.

The map to the right indicates lands within Heritage Gardens to be used in perpetuity for recreation, natural areas, and/or stormwater management. The table below indicates whether the public (Village) or a private entity (usually the developer) will be responsible for ownership, maintenance, and original construction or landscaping. For areas designed for both private construction and public ownership/maintenance, the terms of the transfer will be specified by development agreement and Village subdivision ordinance. The Village and developer may, by subsequent development agreement, alter the original construction and landscape responsibility for certain outlots and associated impact fees accordingly.

Outlot Ownership & Maintenance Responsibilities

Outlot	Ownership	Maintenance	Original Construction & Landscape Responsibility
O.L. 3	Public	Public	Private
O.L. 4	Public	Public	Private
O.L. 5	Public	Public	Private
O.L. 12	Private	Private	Private
O.L. 14	Public	Public	Private
O.L. 15	-----To Be Determined By Development Agreement-----		
O.L. 16 - O.L. 25	Public	Public	Private

Notes:

- Public Maintenance is provided by the Village.
- Private Maintenance is provided by the homeowners’ association, once established, and the developer of the phase in which the outlot is included before establishment of the homeowners’ association.
- Private Maintenance in the Intermezzo Gardens may be provided by the trust or homeowner's association.



Note: All streets will be publicly owned and maintained.

PARCEL INFORMATION

Heritage Gardens at Erickson Farms					
Lot#	Acres	Sq. Feet	Lot#	Acres	Sq. Feet
1	0.33	14,536	66	0.3	12,935
2	0.28	12,240	89	0.34	14,668
3	0.29	12,465	90	0.28	12,142
4	0.4	17,506	91	0.24	10,407
5	0.6	26,207	92	0.23	10,165
6	0.35	15,159	93	0.24	10,273
7	0.29	12,480	94	0.27	11,568
8	0.29	12,480	95	0.24	10,529
9	0.29	12,490	96	0.24	10,347
10	0.35	15,444	97	0.25	10,703
27	0.33	14,536	98	0.26	11,337
28	0.28	12,240	99	0.29	12,504
29	0.28	12,240	100	0.33	14,556
30	0.28	12,240	101	0.34	15,015
31	0.28	12,231	106	0.21	9,226
32	0.23	10,188	126	0.27	11,850
33	0.4	17,336	127	0.24	10,500
34	0.47	20,533	128	0.24	10,500
35	0.35	15,423	129	0.24	10,500
36	0.32	13,992	130	0.24	10,500
37	0.21	8,958	131	0.24	10,500
38	0.2	8,660	132	0.24	10,500
39	0.2	8,640	133	0.24	10,500
40	0.23	10,181	134	0.24	10,500
41	0.24	10,244	135	0.28	12,337
42	0.22	9,679	136	0.27	11,904
43	0.26	11,116	137	0.24	10,500
44	0.27	11,723	138	0.24	10,500
45	0.25	10,830	139	0.24	10,500
46	0.21	9,093	140	0.24	10,500
47	0.23	10,169	141	0.24	10,598
48	0.24	10,400	154	0.24	10,482
49	0.24	10,400	155	0.22	9,367
50	0.24	10,400	156	0.22	9,367
51	0.23	10,139	157	0.22	9,367
52	0.25	11,029	158	0.22	9,367
53	0.24	10,285	159	0.22	9,367
54	0.23	10,154	160	0.24	10,336
55	0.25	10,726	228	0.32	13,795
56	0.24	10,378	229	0.32	14,060
57	0.23	9,927	230	0.51	22,411
58	0.26	11,343	O.L. 3	0.06	2,502
59	0.23	10,177	O.L. 4	3.49	152,187
60	0.22	9,676	O.L. 5	1.89	82,115
61	0.24	10,489	O.L. 12	10.85	472,414
62	0.25	10,773			
63	0.25	10,706			
64	0.27	11,652			
65	0.3	12,886			

Shooting Star Replat of Lots 11-26 of Heritage Gardens at Erickson Farms		
Lot#	Acres	Sq. Feet
1	0.29	12,564
2	0.26	11,137
3	0.27	11,730
4	0.27	11,730
5	0.27	11,601
6	0.27	11,738
7	0.27	11,947
8	0.27	11,947
9	0.35	15,187
10	0.29	12,728
11	0.28	11,985
12	0.29	12,596
13	0.28	12,164
14	0.23	9,957
15	0.28	12,237
16	0.32	14,050

Iver Munson Replat of Lots 68-88 of Heritage Gardens at Erickson Farms		
Lot#	Acres	Sq. Feet
231	0.28	12,102
232	0.22	9,695
233	0.22	9,411
234	0.27	11,691
235	0.26	11,265
236	0.26	11,340
237	0.26	11,340
238	0.26	11,340
239	0.26	11,340
240	0.26	11,225
241	0.22	9,500
242	0.21	9,000
243	0.21	9,000
244	0.21	9,000
245	0.25	10,677
246	0.44	19,255
247	0.38	16,746
248	0.37	16,203
249	0.37	16,200
250	0.35	15,173

Replat 1 Heritage Gardens at Erickson Farms		
Lot#	Acres	Sq. Feet
251	0.27	11,622
252	0.27	11,622
253	0.2	8,702
254	0.18	7,873
255	0.18	7,873
256	0.18	7,873
257	0.24	10,363

Replat 2 Heritage Gardens at Erickson Farms											
Lot#	Acres	Sq. Feet	Lot#	Acres	Sq. Feet	Lot#	Acres	Sq. Feet	Lot#	Acres	Sq. Feet
258	0.20	8,862	307	0.19	8,160	356	0.22	9,754	405	0.24	10,650
259	0.19	8,207	308	0.19	8,160	357	0.22	9,753	406	0.24	10,650
260	0.19	8,207	309	0.22	9,780	358	0.22	9,753	407	0.24	10,650
261	0.19	8,207	310	0.22	9,780	359	0.22	9,753	408	0.24	10,650
262	0.19	8,207	311	0.19	8,160	360	0.22	9,753	409	0.28	12,070
263	0.19	8,207	312	0.19	8,160	361	1.20	52,449	410	0.28	12,070
264	0.19	8,341	313	0.19	8,160	362	0.26	11,440	411	0.24	10,650
265	0.27	11,781	314	0.34	14,912	363	0.21	9,004	412	0.24	10,650
266	0.42	18,363	315	0.23	10,235	364	0.21	9,003	413	0.24	10,650
267	0.25	10,682	316	0.19	8,254	365	0.21	9,002	414	0.24	10,650
268	0.21	9,100	317	0.19	8,254	366	0.28	12,137	415	0.24	10,650
269	0.21	9,100	318	0.22	9,648	367	0.25	10,967	416	0.26	11,131
270	0.21	9,100	319	0.22	9,648	368	0.21	9,000	417	0.31	13,293
271	0.25	11,050	320	0.22	9,648	369	0.21	9,005	418	0.23	9,818
272	0.25	11,050	321	0.22	9,648	370	0.21	9,001	419	0.29	12,515
273	0.21	9,100	322	0.22	9,648	371	0.21	9,000	420	0.25	10,950
274	0.21	9,100	323	0.22	9,648	372	0.29	12,547	421	0.23	9,858
275	0.21	9,100	324	0.22	9,648	373	0.30	13,129	422	0.22	9,558
276	0.21	9,100	325	0.22	9,642	374	0.28	12,414	423	0.21	9,100
277	0.21	9,100	326	0.22	9,491	375	0.28	12,414	424	0.21	9,100
278	0.25	11,036	327	0.21	9,107	376	0.28	12,414	425	0.21	9,100
279	0.23	10,080	328	0.24	10,555	377	0.28	12,414	426	0.21	9,100
280	0.20	8,520	329	0.21	9,112	378	0.28	12,044	427	0.21	9,100
281	0.19	8,400	330	0.21	9,112	379	0.27	11,927	428	0.25	11,050
282	0.19	8,400	331	0.21	9,112	380	0.32	14,107	429	0.26	11,341
283	0.19	8,400	332	0.21	9,112	381	0.28	12,000	430	0.22	9,731
284	0.19	8,400	333	0.21	9,112	382	2.53	110,093	431	0.22	9,712
285	0.23	10,200	334	0.25	10,988	383	4.81	209,682	432	0.22	9,707
286	0.23	10,200	335	0.21	9,100	384	3.46	150,554	433	0.22	9,697
287	0.19	8,400	336	0.21	9,100	385	1.44	62,834	434	0.21	9,354
288	0.19	8,400	337	0.21	9,100	386	1.53	66,729	435	0.24	10,517
289	0.19	8,400	338	0.21	9,100	387	0.22	9,600	O.L. 14	0.50	21,890
290	0.19	8,400	339	0.21	9,146	388	0.27	11,911	O.L. 15	4.25	185,111
291	0.20	8,520	340	0.32	14,151	389	0.26	11,249	O.L. 16	5.45	237,266
292	0.23	10,080	341	0.19	8,461	390	0.36	15,788	O.L. 17	0.61	26,624
293	0.24	10,407	342	0.19	8,459	391	0.28	12,053	O.L. 18	0.91	39,532
294	0.20	8,650	343	0.19	8,459	392	0.24	10,399	O.L. 19	7.17	312,517
295	0.20	8,650	344	0.19	8,459	393	0.24	10,398	O.L. 20	1.82	79,214
296	0.20	8,650	345	0.19	8,459	394	0.24	10,398	O.L. 21	1.03	44,747
297	0.22	9,370	346	0.19	8,459	395	0.24	10,397	O.L. 22	1.89	82,449
298	0.28	12,101	347	0.29	12,829	396	0.24	10,397	O.L. 23	4.73	206,028
299	0.33	14,228	348	0.36	15,515	397	0.24	10,396	O.L. 24	0.92	40,057
300	0.24	10,249	349	0.27	11,913	398	0.27	11,695	O.L. 25	1.50	65,302
301	0.22	9,636	350	0.21	9,355	399	0.27	11,690			
302	0.19	8,447	351	0.21	9,355	400	0.22	9,390			
303	0.22	9,600	352	0.21	9,354	401	0.24	10,593			
304	0.22	9,781	353	0.21	9,354	402	0.29	12,484			
305	0.19	8,160	354	0.21	9,257	403	0.24	10,650			
306	0.19	8,160	355	0.25	11,055	404	0.24	10,650			

GREENWAY HOMES

The Greenway Homes will be located adjacent to the stormwater greenways near the northeast corner of the development. Home sizes will range from 1,650 square feet to over 3,000 square feet. Rear setbacks are greater than the other homes at 30 feet. These regulations have been developed to take advantage of the unique location of these lots adjacent to open space areas.

Approximate Acreage (excluding streets and open space)	6.5
Number of Dwelling Units	27
Approximate Density	4.2 Units/Acre
Permitted Uses	Uses permitted within the Village’s RN-1 Residential Neighborhood Single Family Residence district
Conditional Uses	Conditional uses within the Village’s RN-1 Residential Neighborhood Single Family Residence district
<u>Lot Requirements</u>	
Minimum lot size	9,600 square feet
Total lot coverage of buildings and structures	40%
Total impervious surface coverage	50% maximum
Minimum front yard setback	15 feet
Minimum side yard setback	8 feet
Minimum corner lot side yard setback	15 feet, or as necessary to allow for vision triangle*
Minimum rear yard setback	30 feet
Maximum building height	35 feet
Encroachment area**	6 feet
Required off-street parking	Two off-street parking spaces will be provided on each lot
Landscaping	See Landscaping Plan
Variances	The Architectural Control Committee may allow a reduction in side setbacks to 6’ for lots under 80’ wide.

* Vision Triangle means: A triangle specified in the Village zoning ordinance extending from all public street right-of-way intersections to ensure vehicular vision is not impaired from the roadway.
** Encroachment area: stoops, porches, roof eaves, and bay windows are allowed.



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PRAIRIE HOMES

ThePrairie Homes are intended to be similar in size and style to the Greenway Homes, and are located throughout the development. Home sizes will range from 1,650 to 3,000 square feet. They will have access to the many open spaces throughout the area via sidewalks and bike paths.

Approximate Acreage (excluding streets and open space)	69.3
Number of Dwelling Units	276
Approximate Density	4.0 Units/Acre
Permitted Uses	Uses permitted within the Village’s RN-1 Residential Neighborhood Single Family Residence district
Conditional Uses	Conditional uses within the Village’s RN-1 Residential Neighborhood Single Family Residence district
<u>Lot Requirements</u>	
Minimum lot size	7,800 square feet
Total lot coverage of buildings and structures	40% maximum
Total impervious surface coverage	50% maximum
Minimum front yard setback	20 feet
Minimum side yard setback	8 feet
Minimum corner lot side yard setback	15 feet, or as necessary to allow for vision triangle*
Minimum rear yard setback	25 feet
Maximum building height	35 feet
Encroachment area**	6 feet
Required off-street parking	Two off-street parking spaces will be provided on each lot
Landscaping	See Landscaping Plan
Variances	The Architectural Control Committee may allow a reduction in side setbacks to 6’ for lots under 80’ wide.

* Vision Triangle means: A triangle specified in the Village zoning ordinance extending from all public street right-of-way intersections to ensure vehicular vision is not impaired from the roadway.
** Encroachment area: stoops, porches, roof eaves, and bay windows are allowed.



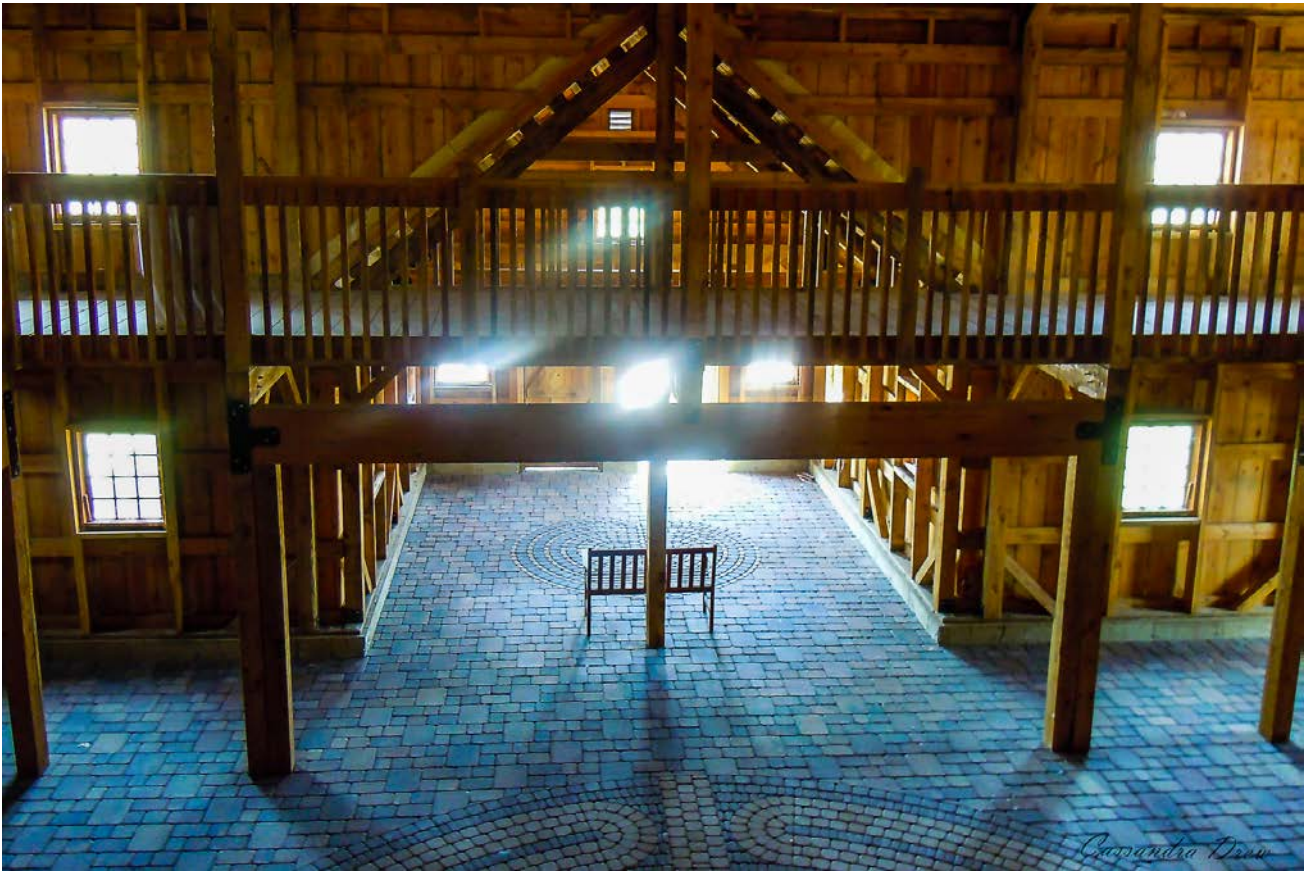
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DUPLEX CONDOMINIUMS

These homes are 2-unit structures located between Antique Acres and Erickson Parkway. These lots are intended to create 24 units, at a density of 4.1 units per acre. Designing these units as duplexes provides for a smooth transition between the multi-family components of Heritage Gardens at Erickson Farms and nearby single-family residences.

Approximate Acreage (excluding streets and open space)	5.9
Number of Dwelling Units	24
Approximate Density	4.1 Units/Acre
Permitted Uses	Uses permitted within the Village’s RM-3 Residential Mix Two Family Housing district
Conditional Uses	Conditional uses within the Village’s RM-3 Residential Mix Two Family Housing district
<u>Lot Requirements</u>	
Minimum lot size	14,900 square feet
Total lot coverage of buildings and structures	40% maximum
Total impervious surface coverage	50% maximum
Minimum front yard setback	20 feet
Minimum side yard setback	8 feet
Minimum corner lot side yard setback	15 feet, or as necessary to allow for vision triangle*
Minimum rear yard setback	25 feet
Maximum building height	35 feet
Encroachment area**	6 feet
Required off-street parking	Four off-street parking spaces will be provided on each lot
Landscaping	See Landscaping Plan

* Vision Triangle means: A triangle specified in the Village zoning ordinance extending from all public street right-of-way intersections to ensure vehicular vision is not impaired from the roadway.
** Encroachment area: stoops, porches, roof eaves, and bay windows are allowed.



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LANDSCAPING PLAN

Plant Selection List
Conceptual Landscape Plan / Detention Basins
Final Cross Section: 60’ Right of Way
Final Cross Section: 66’ Right of Way
Final Cross Section: 70’ Right of Way
Final Cross Section: 80’ Right of Way
Final Cross Section: 100’ Right of Way
Final Cross Section: Alleys
Boulevard Layout A / Boulevard Layout B

Landscaping required throughout the subdivision is intended to contribute to neighborhood character, create an aesthetically appealing neighborhood, and establish a link to the Intermezzo Garden amenities. Landscaping will also be used as a buffer in certain areas.

Installation Period. Installation shall occur as described under the “Construction and Landscape Installation Deadlines” section on page 7 of this document.

Grass. All front yards and side yards shall be sodded, except for the areas where gardens, shrubs, or other landscaping are found. All rear yards shall be either seeded or sodded, except for the areas where gardens, shrubs, or other landscaping are found. Irrigation and seeding systems approved by the Architectural Control Committee may replace sod requirements.

Point System. Landscaping for single family and duplex lots with a total lot area of 12,000 square feet or less will be required to achieve 300 points based on the point system table. Lots with a total area greater than 12,000 square feet shall be required to achieve 15 points for each additional 1,000 square feet. Lots with a total area less than 9,000 square feet shall only be required to achieve 240 points. Landscaping plans are required to be approved by the Architectural Control Committee in conjunction with the building plans.

- *Front Yard Requirements.* Each front yard is required to have a minimum of 120 points. 30 points must be Flowering Trees or Shrubs.
- *Side Yard Requirements.* Each lot is required to have a total of 60 points in the side yards (36 total, both side yards).
- *Rear Yard Requirements.* Each rear yard is required to have a minimum of 60 points.

The Architectural Control Committee may allow a 15% reduction in the required landscaping given the integrity of the original specification is not diminished.

Following are the points allocated to each of the landscape elements:

<i>Landscape Element</i>	<i>Point Value</i>
A. Ornamental Tree	15
B. Small or Medium Shade Tree 1 1/2”-2” caliper when planted	15
C. Large Shade Tree 2 1/2” or greater caliper when planted	30
D. Evergreen Tree (minimum 4 feet when planted)	20
E. Large Shrub: 18” diameter when Planted (6-10’ height at maturity)	5
F. Small Shrub: 18” diameter when plants (2-5’ height at maturity)	3
G. Ornamental Grass & Perennial (minimum 18” height at maturity)	.2 points for each square foot, 75 points maximum
H. Ground Cover (maximum 12” height at maturity)	.2 points for each square foot, 60 points maximum
I. Paver Brick Sidewalk or Driveway	.2 points for each 2 square feet, 30 points maximum for sidewalk; 50 points maximum for driveway
J. Rain Garden at Downspout Location	.1 points for each square foot, up to a maximum of 45 points. Plantings within rain garden will receive additional points as specified in G. and H. Calculate rain garden area: 1.2% of roof area sloping to the downspout; 6” deep minimum.

PLANT SELECTION LIST

Vegetation in each category should be selected from the following lists. **Other species, varieties, or cultivars may be used but must be approved by the Architectural Control Committee.** Plan materials shall meet the standards of the American Nursery and Landscape Association and must be suitable for the USDA plan hardiness zone 4 or colder.

Ornamental Tree	15 Points
<u>Common Name</u>	<u>Botanical Name</u>
Pagoda Dogwood	Cornus alternifolia
Chokeberry cultivars	Prunus virginiana
Disease-resistant Crabapple cultivars	Malus cvs.
Hawthorn cultivars	Crataegus spp.
Tree Lilac cultivars	Syringa reiculata cvs.
Linden-American or Littleleaf	Tilia Americana, Tilia cordata
Magnolia	Magnolia stellata and Magnolia hybrids
Serviceberry hybrids and cultivars	Amelanchier x grandiflora cvs.

Evergreen Tree	20 points
<u>Common Name</u>	<u>Botanical Name</u>
Arborvitae cultivars	Thuja occidentalis cvs.
Fir Species including: Balsam, White, and Fraiser	Aibes including balsamea, concolor, and fraseri
Juniper cultivars other than compact and groundcover types	Juniperus spp. Including chinesis, Sabina, scopulorum, and horizontalis
Spruce species and cultivars including: Norway, Black Hills, Colorado Blue, Colorado Green, and Serbian	Picea abies spp. And cvs including glauca, pungens and omkorika
Pine species including: Red, White, and Austrian	Pinus including resinosa, strobes, and nigra

NOTE: Avoid planting invasive shrub and tree types such as Norway Maple and Buckthorn, or weak wooded trees such as Silver Maple, Boxelder, or Willow. Refer to the list of prohibited trees defined in the Village Landscape Ordinance 15.06(5).

Shade Tree	30 points for 2 1/2” caliper 15 points for 1 1/2” to 2” caliper
<u>Common Name</u>	<u>Botanical Name</u>
Birch species including: Sweet, River, Paper/White	Betula including lenta, nigra, and papyrifera
Elm hybrid cultivars (Dutch Elm disease resistant)	Ulmus hybrid cultivars including: ‘Pioneer’, ‘Regal’, ‘Prospector’
Hackberry species	Celtis occidentalis
Honey Locust cultivars (thornless)	Gleditsia tricanthos var. intermis cvs.
American Hornbeam species	Carpinus caroliniana
Sugar Maple species and cultivars	Acer saccharum spp., cvs.
Red Maple species and cultivars	Acer rubrum spp., cvs.; Acer x freemanii ‘Armstrong’, ‘Celebration’, ‘Autumn Blaze’, and others.
Oak species including: Bur, White, Swamp White, Northern Red, and Northern Pin	Quercus including: macrocarpa, alba, bicolor, rubra, and palustris

Large Shrub	5 points
<u>Common Name</u>	<u>Botanical Name</u>
Arborvitae glob varieties	Thuja occidentalis cvs.
Compact Burning Bush cultivars	Euonymus alatus cvs.
Butterfly Bush cultivars	Buddleai davidii cvs.
Dogwood cultivars including: Tatarian, Red Twig, Bailey’s Red Twig, Gray, and Silky	Cornus cvs. Including alba, servicea, baileyi, racemosa, and ammomun
American Filbert	Corylus americana
Forsythia cultivars	Forsythia cvs.
Common Lilac cultivars	Syringa vulgaris cvs.
Common Ninebark cultivars	Physocarpus opulifolius cvs.
Mugo Pine cultivars	Pinus mugo var. mugo cvs.
Purple Leaf Sandcherry	Prunus x cistena
Vanhoutte Spirea species and cultivars	Spirea x vanhouttei cvs.
Viburnum varieties including Nannyberry, Arrowwood, Ko-reanspice, Mohican, Cranberry, and Blackhaw	Vibrunum cvs. Including: lentago, dentatum, carlesii, trilobum, and prunifolium
Common Witchhazel varieties	Hamamelis virginiana and Hamamelis vernalis
Large Japanese Yew cultivars	Taxus x media cvs.
Redleaf Rose	Rosa glauca

PLANT SELECTION LIST

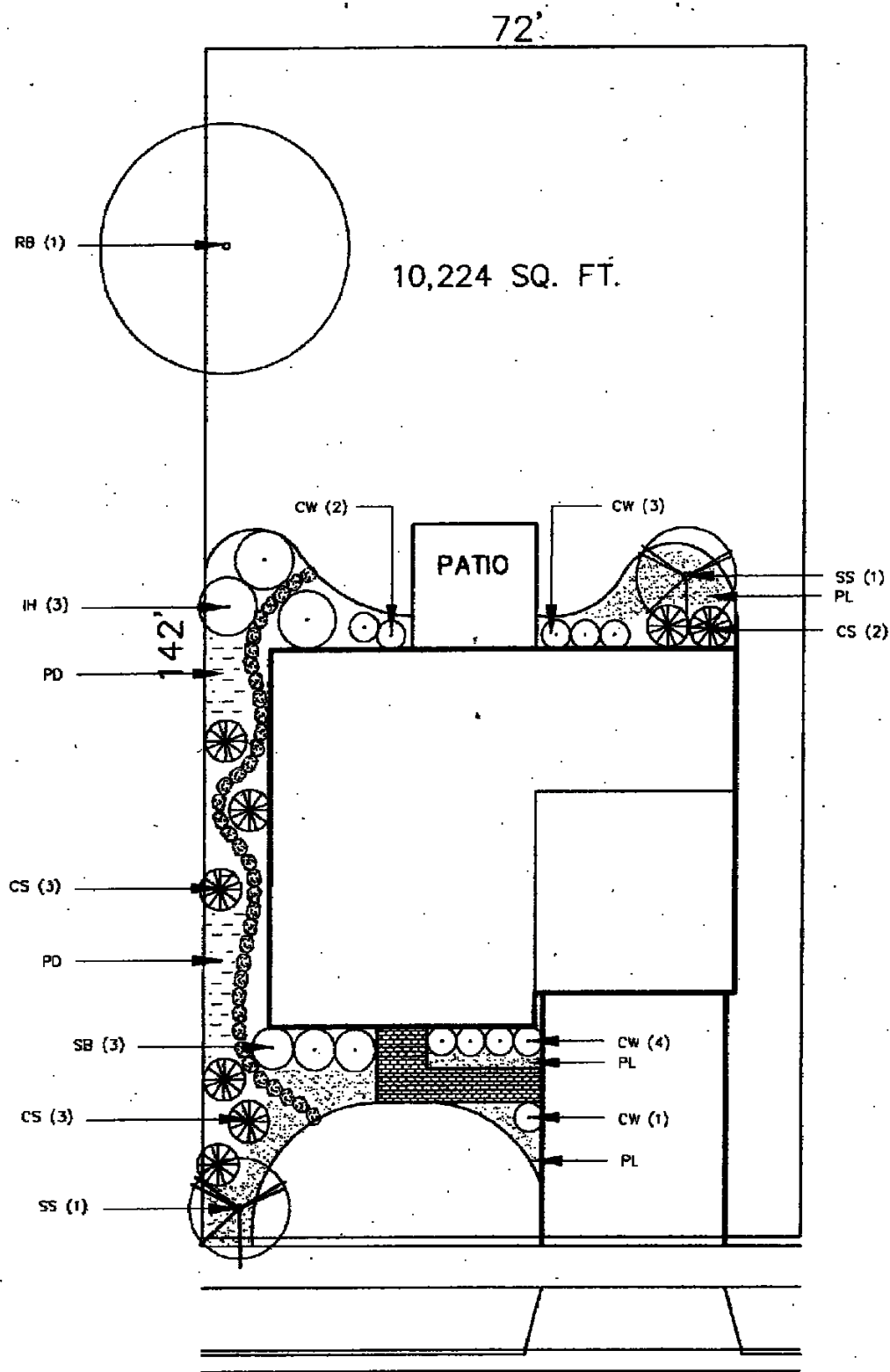
Small Shrub	3 Points
Common Name	Botanical Name
Alpine Currant	Ribes alpinum
Compact and Groundcover type Horizontal and Japanese Juniper cultivars	Juniperus spp. Including horizontalis and procumbens
Isanti Dogwood	Cornus serica ‘Isanti’
Hydrangea cultivars	Hydrangea cvs.
Hesse Cotonester	Cotoneaster x ‘Hessei’
Dwarf Korean Lilac cultivars	Syringa patula cvs.
Palibin Lilac cultivars	Syringa ‘meyeri’ cvs.
Potentilla cultivars	Potentilla fruticosa cvs.
Disease-resistant shrub-type Roses (except Multiflora)	Rosa cvs. (except Rosa multiflora)
Japanese spirea cultivars	Spirea japonica cvs.
Bird’s nest spruces	Picea abies ‘nidiformis’
Dwarf Alberta Spruce	Picea glauca ‘conica’
Gro-Low Fragrant Sumac	Rhus aromatica ‘Gro-Low’
Compact American and European Cranberry Viburnum cultivars	Viburnum trilobum and opulus compact cvs.
Weigela cultivars	Weigela florida cvs.
Compact Japanese Yew cultivars	Taxus cuspidate and Taxus x media cvs.

Ornamental Grass and Perennial	.2 points per square foot (maximum credit 75 points)
Common Name	Botanical Name
Aster cultivars	Aster cvs.
Astilbe cultivars	Astilbe cvs.
Autumn Moor Grass	Sesleria autemnnalis
Beebalm cultivars	Monarda cvs.
Black-Eyes Susan cultivars	Rudbeckia hirta cvs. And var.
Coneflower species and cultivars	Echinacea purpurea and cvs.
Coralbells cultivars	Heuchera cvs.
Coreopsis cultivars	Coreopsis cvs.
Karl Forester Feather Reed Grass	Calamagrosis acutiflora ‘Karl Forester’
Fern species	Adiantum spp.
Fountain Grass cultivars	Pennisetum alopecuroides cvs.
Hosta cultivars	Hosta cvs.
Indian Grass	Sorghastrum nutans
Lungwort cultivars	Pulmonaria saccharata cvs.
Maiden Grass cultivars	Miscanthus cvs.
Phlox cultivars	Phlox cvs.
Prairie Dropseed	Sporobolus heterolepsis
Salvia cultivars	Salvia cvs.
Swich Grass cultivars	Panicum cvs.

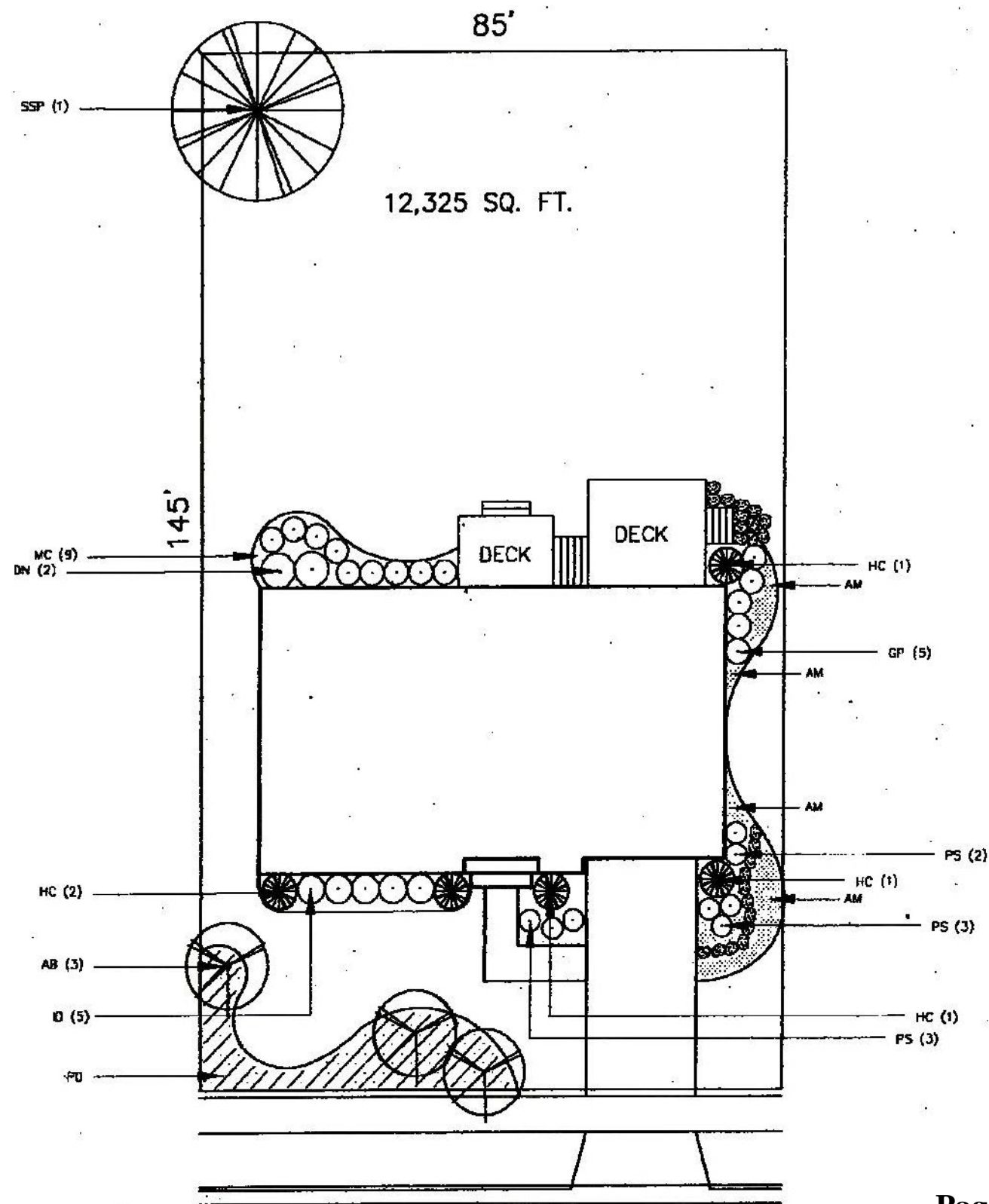
Groundcover	.2 points per square foot (maximum credit 60 points)
Common Name	Botanical Name
Yarrow cultivars	Achillea cvs.
Ajuga cultivars	Ajuga reptans cvs.
Little Bluestem	Schizachyrium scoparium
American Bittersweet	Celastrus scandens
Boston Ivy cultivars	Parthenocissus tricus cvs.
Daylily cultivars	Hemerocallis cvs.
Engleman Ivy	Parthenocissus quinque var engelmannii
Sedum cultivars	Sedum cvs.
Wintercreeper cultivars	Euonymus fortunei cvs. Including ‘colorata’

LANDSCAPE PLAN EXAMPLES

Example A

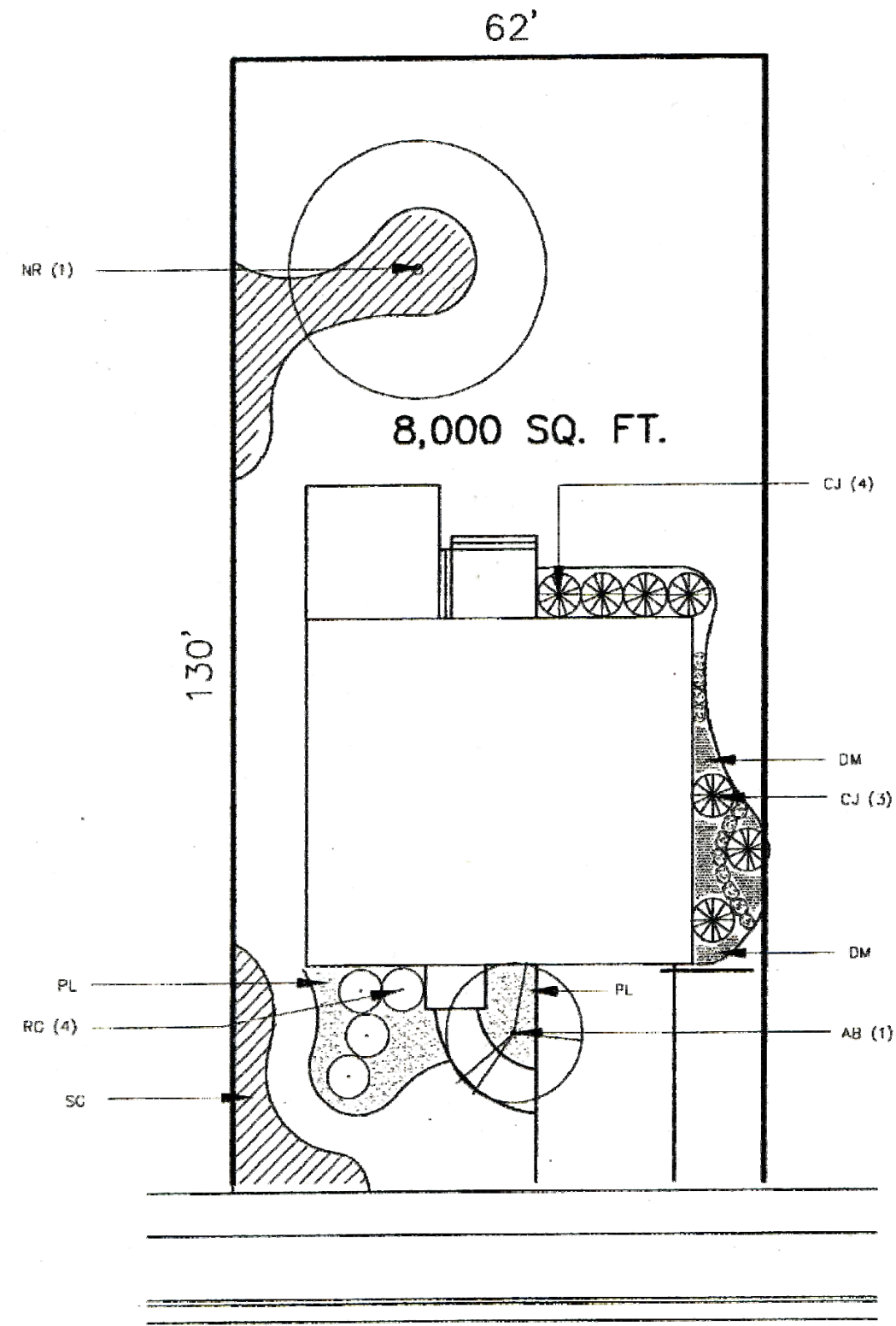


Example B



LANDSCAPE PLAN EXAMPLES

Example C



INTERMEZZO GARDENS

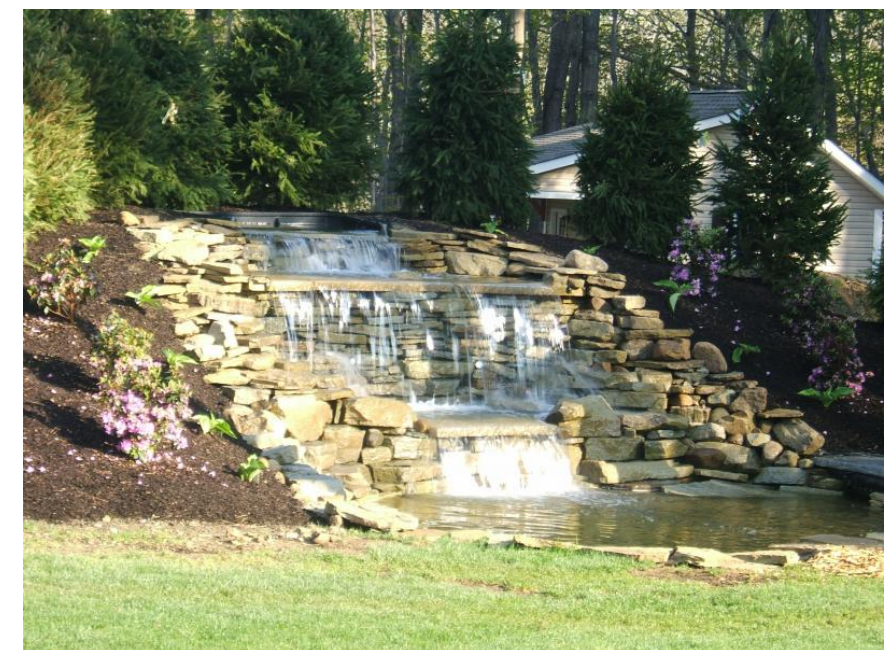
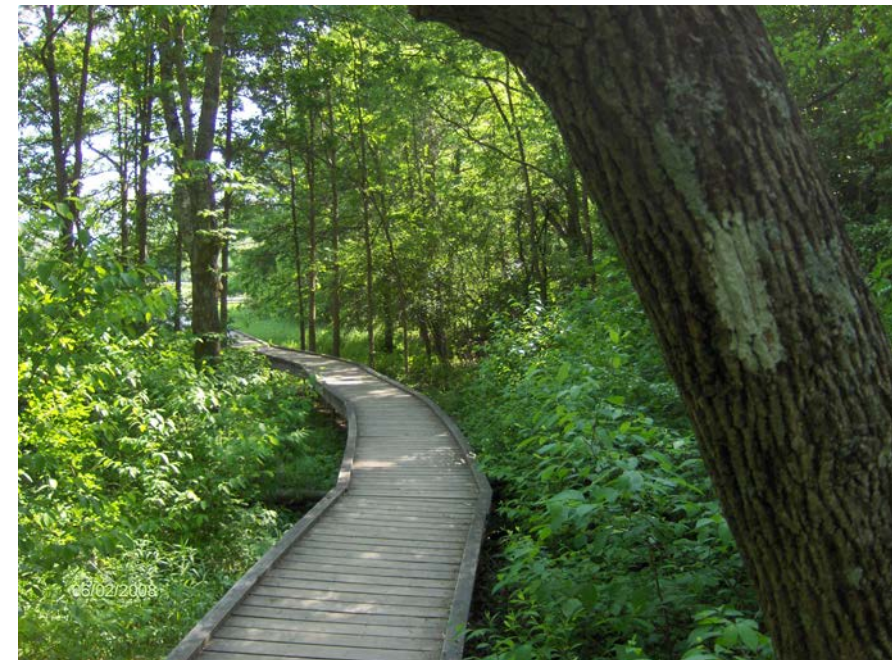
Intermezzo Gardens will be a landscape that embraces the cultural heritage of the region. Its location will encourage nearby residents and commuters for frequent visits. The gardens will not only be an educational resource for the community, but will also act as a respite from our daily sojourn. Through the use of native plant communities, the gardens will interpret the changes to the landscape brought about by agriculture, in particular tobacco farming, and the people who settled here.

Located in the southwest portion of the site, this 10.17 acres of park/open space will be a focal point of the neighborhood. Intermezzo Gardens will provide a variety of amenities, including perennial gardens, interpretive gardens, and possibly a school forest or prairie restoration. Walking trails will provide access throughout the gardens, and to the neighboring wetland area. An additional feature of Intermezzo Gardens may involve the restoration of an existing tobacco shed (see photo below). This structure could include a greenhouse, concession area, and restroom facilities. It may serve as a park pavilion and a place to hold community and special events. The zoning surrounding the future tobacco shed restoration should allow community functions, such as farmers markets, flower shows, etc. Although these gardens will be privately owned and maintained, they are intended to be accessible to the public, and will likely draw visitors from outside of the neighborhood.

Development of the Intermezzo Gardens will be subject to site plan approval from the Village Planning and Zoning Commission.



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A Cass Creation - cassandra@acasscreation.com



PARKS & TRAILS

Parkland dedication and payments-in-lieu of parkland dedication will be determined with the Developer Agreements and paid at the commencement of each phase for development within the phase.

The DeForest - Windsor Trail shall be installed by the Developer. The trail will connect in Antique Acres to Iver Munson Park.

The DeForest - Windsor Trail will be scheduled for construction at the time of the development of the adjacent phase. The trail shall be 10 feet wide and paved with asphalt. The cost to build the public trail outside of the plat (connection to Antique Acres) will be deducted from the applicable park fees.

POCKET PARK

The pocket park is approximately 22,000 square feet, located within the Heritage Gardens neighborhood. The park will be graded and seeded by the Developer per the Park Departments specifications. Installation of the park improvements will be determined with the Phase 2E developer agreement.



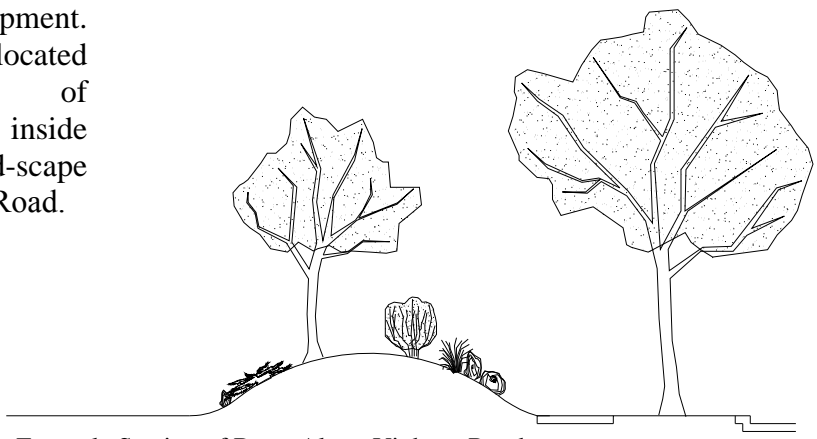
IVER MUNSON PARK

Iver Munson Park (4.25 acres) is located adjacent to a proposed 3-acre park in the future Holland Fields development. The responsibility for installation of park improvements, along with associated impact fee adjustments for private installation, will be determined by development agreement. The developer will minimally be responsible for grading and seeding per Village subdivision ordinance requirements.



BERM ALONG VINBURN ROAD

The design of the berm will provide an aesthetically pleasing buffer between residential lots and Vinburn Road. Plant materials are to be arranged to complement the planting in front of the mini warehouses, located on the other side of Vinburn Road. The berm will flow in mounds of varying heights; providing a more natural appearance. It will also serve as a compliment to the other parks and boulevards within Heritage Gardens. Plant materials will include varieties used in the parks and boulevards throughout the de-velopment. The berm will be located within 18 feet of Vinburn Road and inside the 30 foot land-scape buffer along Vinburn Road.



Example Section of Berm Along Vinburn Road

WETLANDS

This FDP is based on wetlands delineated in 2016. Development of parts of the FDP depends on WisDNR approval of fill permit(s) for small wetland areas crossing projected road right-of-ways and Lot 383. In the event the WisDNR does not grant such permit(s), the FDP will likely require further amendment.

DETENTION BASINS

Prairie grasses will be planted in all basin and detention areas, natural prairie seed and blooming plants will be emphasized. The basins will be constructed by the developer per Village specification areas and maintained by the Village.

Sides and Top of Basins: Wet and dry basins will be seeded with wet prairie mix from prairie nursery.

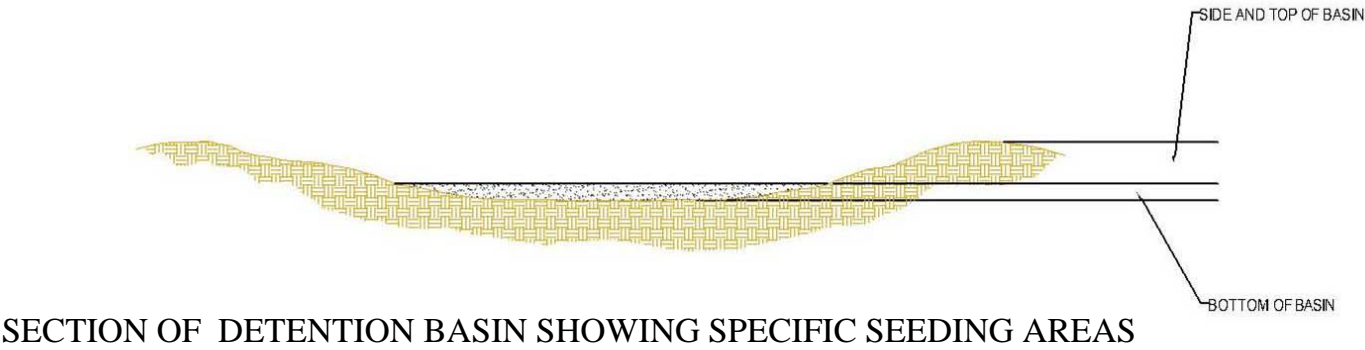
Bottom of Basin: Dry Basins will be seeded with detention basin seed mix from prairie nursery. Wet Basins will be seeded with annual rye or other cover cop to prevent erosion.



View of areas seeded with wet prairie mix from prairie nursery.



View of basin seeded with detention basin seed mix from prairie nursery.

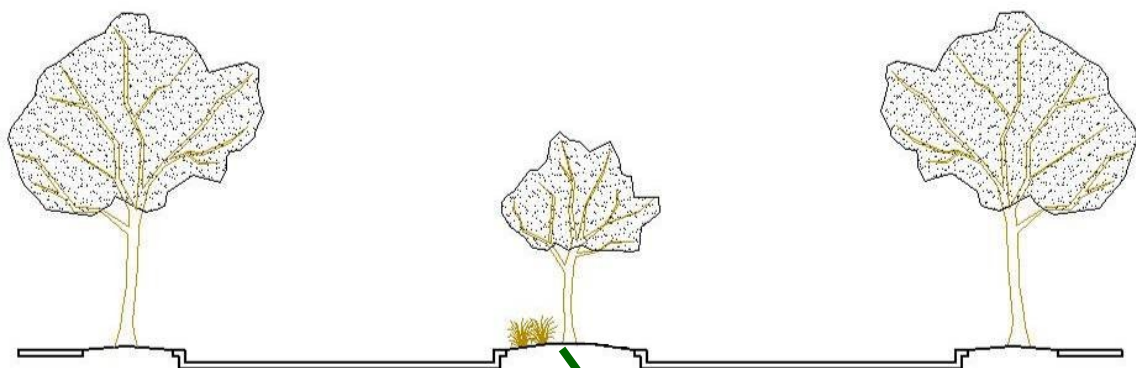


SECTION OF DETENTION BASIN SHOWING SPECIFIC SEEDING AREAS



"B" BOULEVARD LAYOUT

This boulevard layout is located on Yorktown Road at Vinburn Road. This area will contain low perennials and shrubs, along with ornamental trees. Decorative boulders and cobbles will also be included in this area, which are to match those used in the parks and berm planting located within the development. All plants to be chosen for boulevard plantings will be tolerant of salt spray. Refer to 100' right-of-way cross section for measurements and details of this boulevard.



Perennials

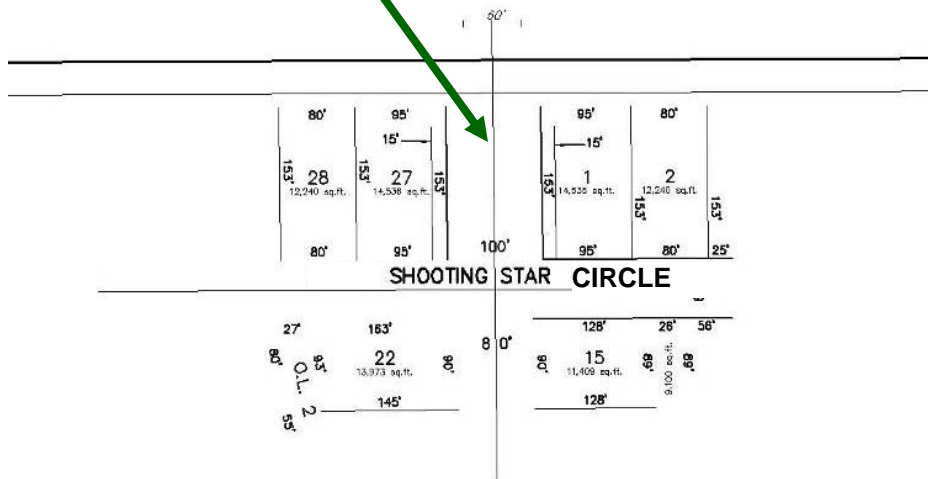
Autumn Joy Sedum
 Cherry Cheeks Daylily
 Elija Blue Fescue
 Chatterbox Coralbells
 Karl Foerster Feather Reed Grass
 Little Spire Russian Sage
 May Night Blue Salvia
 Moonbeam Coreopsis
 Moonshine Yarrow
 Stella D'oro Daylily
 Woods Blue Aster

Shrubs

Compact Burning Bush
 Frau Dagmar Rugosa Rosa
 Green Mound Alpine Current
 Gro-Low Sumac
 Hessei Cotoneaster
 Kallay Comapce Pfitzer Juniper

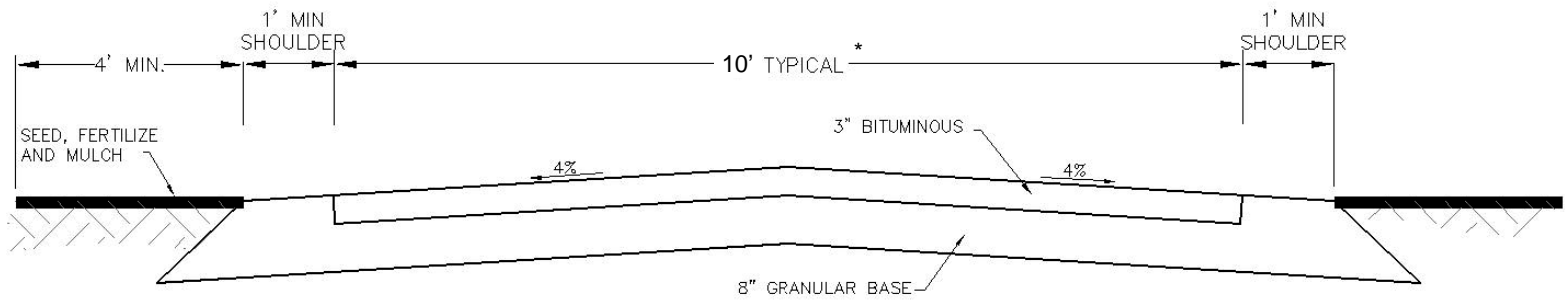
Trees

Species to be chosen from the ornamental trees on page 18

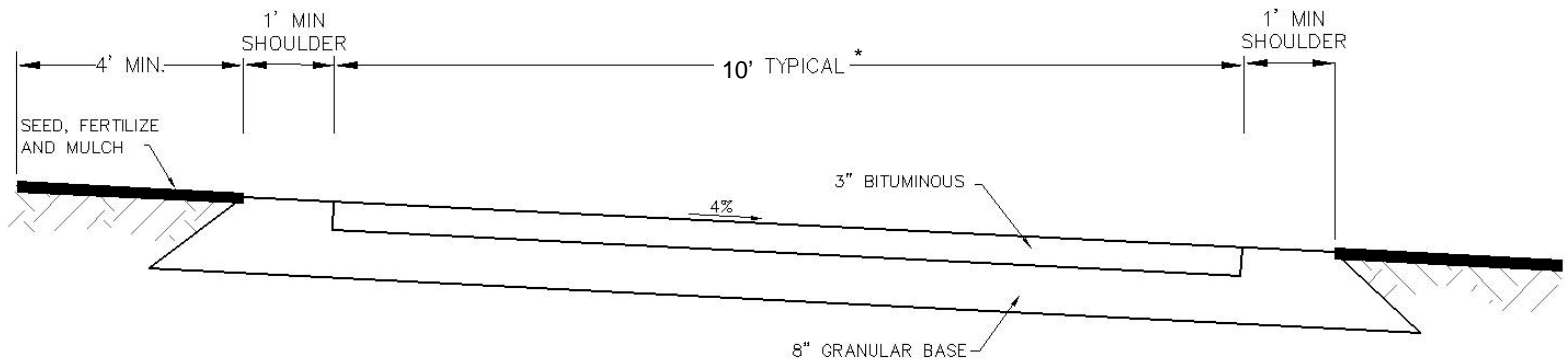


TRAIL CROSS SECTION

The bicycle / pedestrian trail will be constructed to the standards of the ex-isting trail in Antique Acres and Holland Fields. The trail will be 10' wide and paved with asphalt.



TYPICAL BIKE/PEDESTRIAN PATH CROSS SECTION
ON LEVEL GROUND



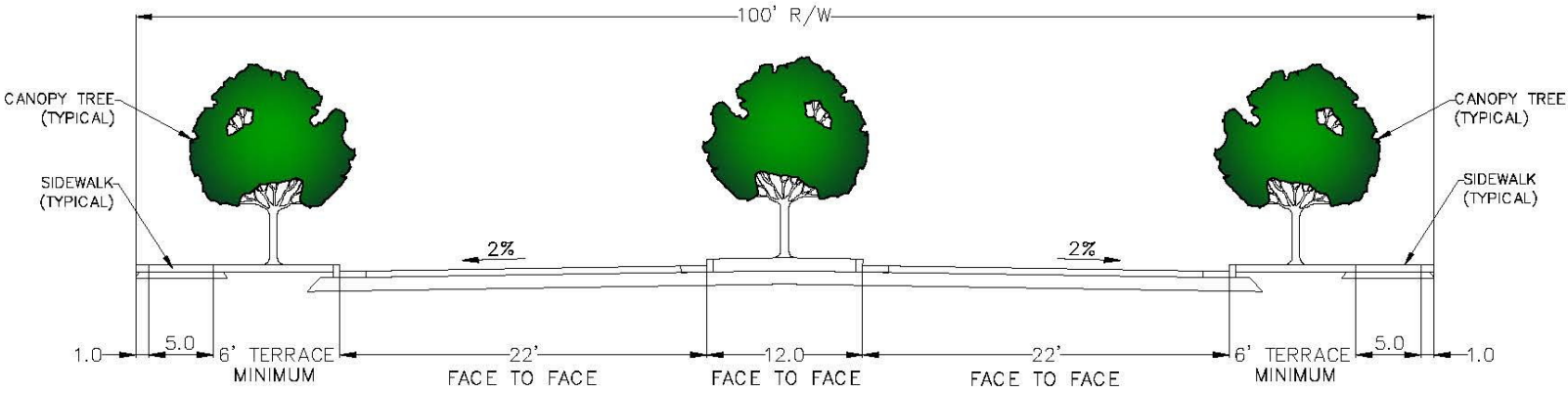
TYPICAL BIKE/PEDESTRIAN PATH CROSS SECTION
ON SLOPED GROUND

YORKTOWN ROAD ACCESS CONTROL STANDARDS

Except where determined impractical based on preexisting development or road alignments by the Zoning Administrator, there shall be not less than 100 feet between the following along Yorktown Road:

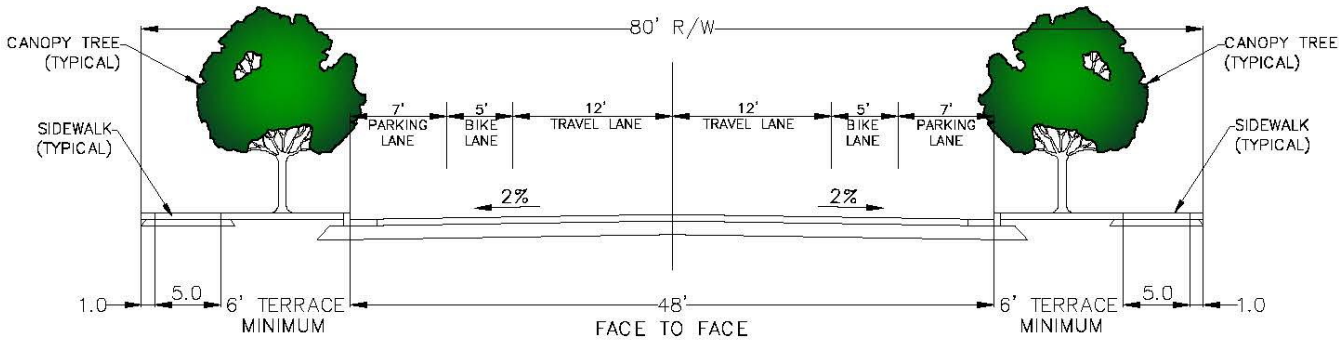
- 1. The nearest edge of any private driveway from the nearest edge of other private driveway on the same side of the street.
- 2. The nearest edge of any private driveway from the nearest right-of-way line of any parallel or nearly parallel public street.

ROAD CROSS SECTIONS



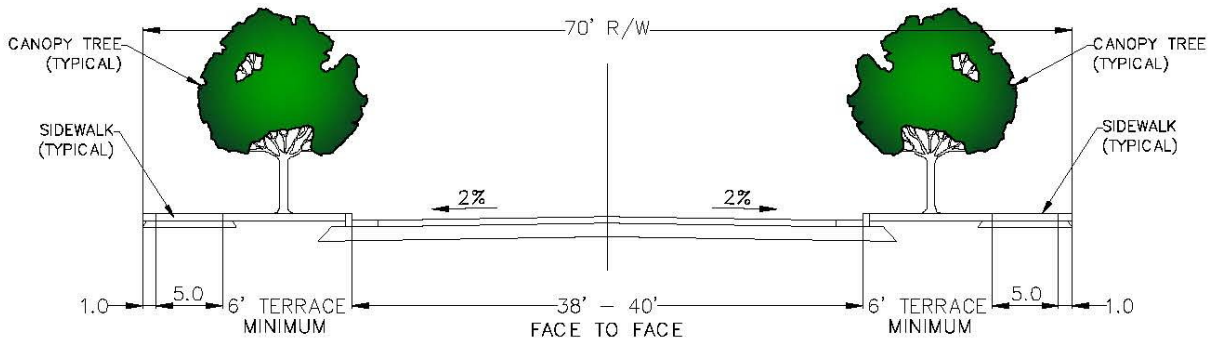
100' RIGHT OF WAY

YORKTOWN ROAD AT VINBURN ROAD
NOTE: BOULEVARD TREES MAY BE SPECIFIED AS
SMALLER SPECIES



80' RIGHT OF WAY

YORKTOWN ROAD

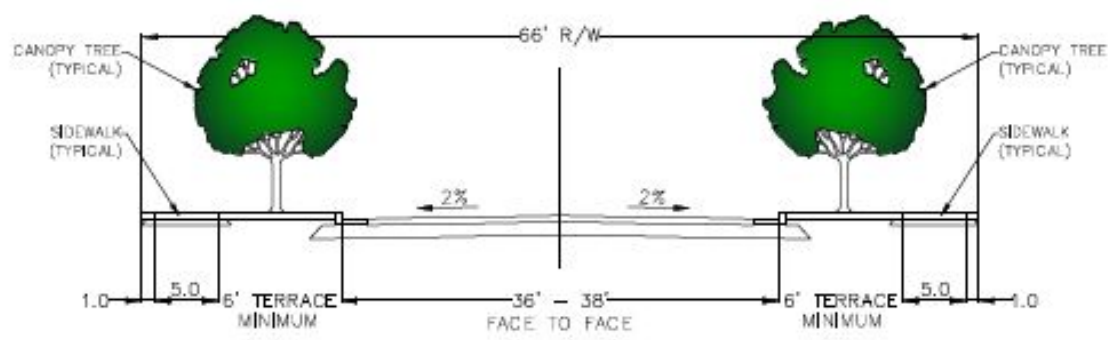


70' RIGHT OF WAY

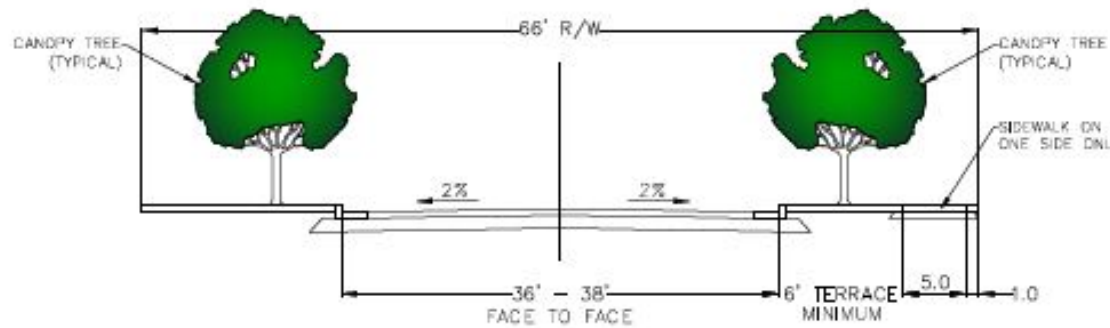
ERICKSON PARKWAY & SOUTH BOUND DRIVE

ROAD CROSS SECTIONS

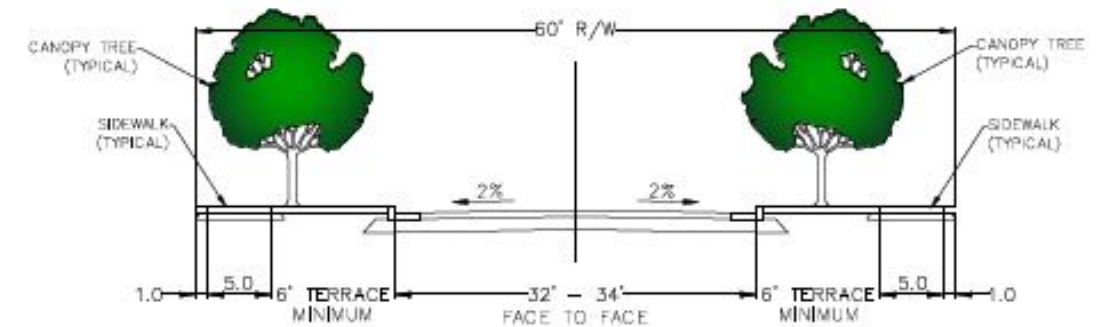
Sidewalk locations shown in these cross sections are typical. See the map on Page 29 for sidewalk locations within Heritage Gardens, which shall control. All of Erickson Parkway and Southbound Drive within the development shall have sidewalks on both sides.



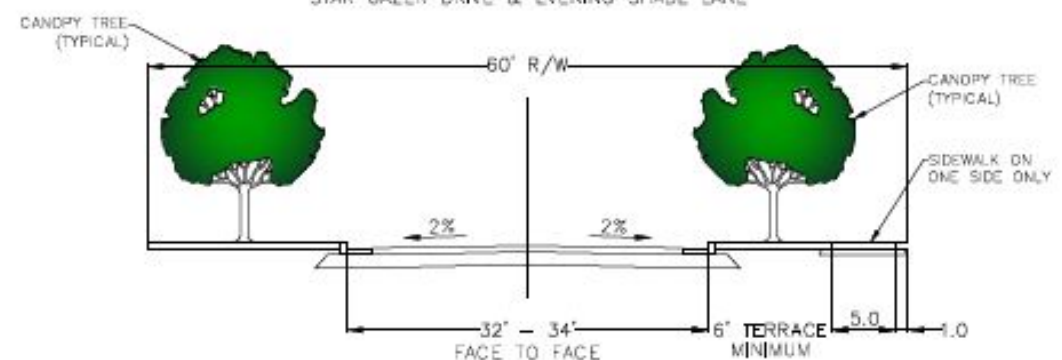
66' RIGHT OF WAY
RUMLEY RUN, ROYAL ARTIS ROAD,
SOUTHBOUND DRIVE, & HEIRLOOM DRIVE



66' RIGHT OF WAY
RUMLEY RUN



60' RIGHT OF WAY
HEIRLOOM DRIVE, LAVENDER WAY, SKYLARK LANE,
IVER MUSEN DRIVE, BURNING BUSH DRIVE,
STAR GAZER DRIVE & EVENING SHADE LANE



60' RIGHT OF WAY
STAR GAZER DRIVE

