



# RIVERS TURN

*At Conservancy Place*

## Final Development Plan

December 2005

Revised - January 2006

Revised - June 2006

Revised - July 2006

Revised - March 2012

Revised - June 2012

Revised - May 2013

Revised - April 8, 2014

Revised - June, 2017



# CONSERVANCY PLACE

*Building Community, Respecting Nature*



## Acknowledgements

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*Photos*

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Photos taken on site (Conservancy Place)



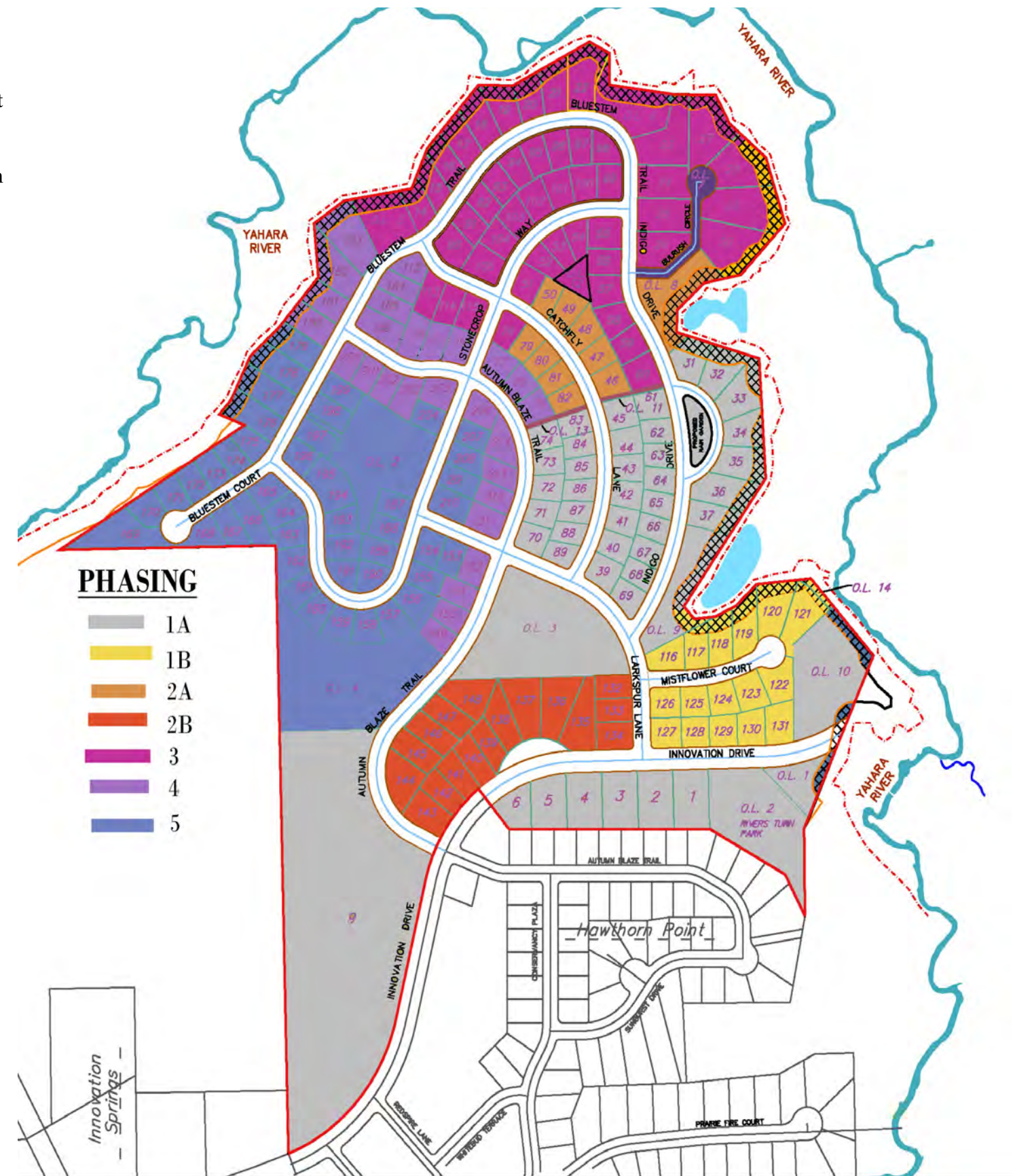
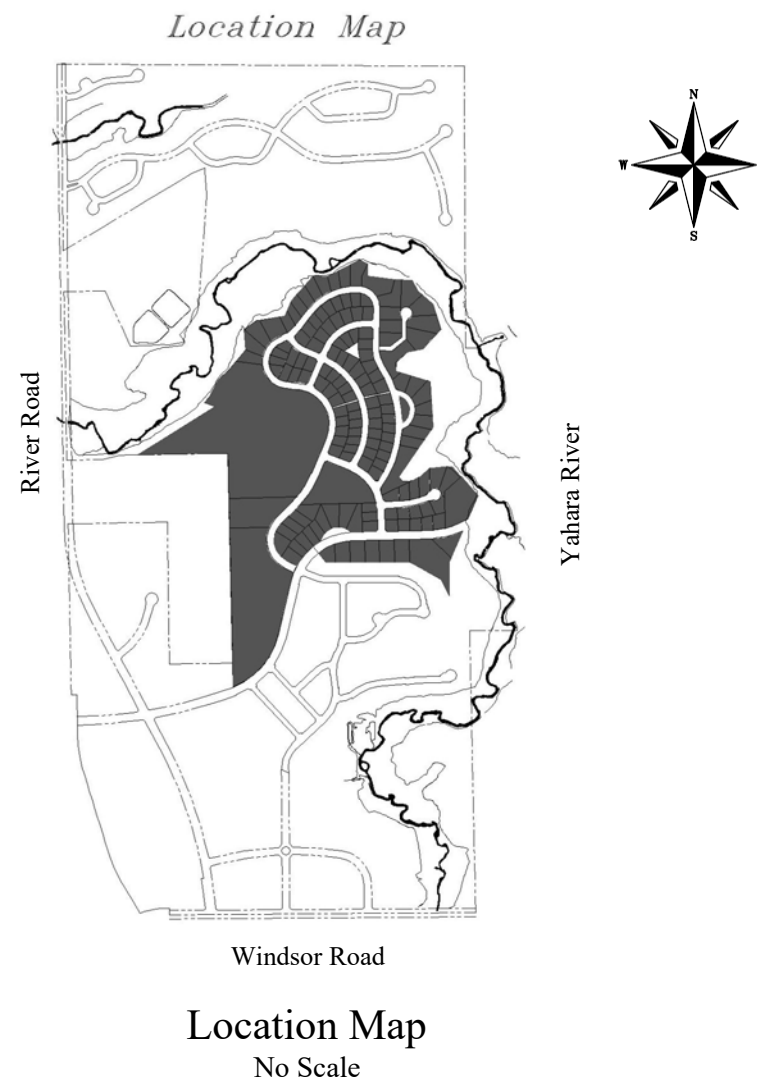
Description	Page
<b>Rivers Turn Final Development Plan .....</b>	
• Location and Phase Map.....	1
• Rivers Turn Final Development Plan .....	2
• Dwelling Unit Chart.....	3
<b>Single-Family Residential - Bulk Standards.....</b>	
• Garden Homes .....	4
• Manor Homes .....	5
• Hillside Homes .....	6
• Architectural Standards.....	7-8
<b>Multi-Family Residential - Bulk Standards .....</b>	
• Yahara Rivers Homes .....	9
• Town Center Homes .....	10
• Park View Homes .....	11
<b>Non-Residential - Bulk Standards.....</b>	
• Stormwater Management .....	12
<b>Conceptual Landscaping .....</b>	
• Conceptual Landscape Plan .....	13
• Landscape and Street Cross Section .....	14-15
• Conceptual Trail Cross Sections.....	16
• Additional Notes .....	17
<b>Exhibit Maps .....</b>	
• Rivers Turn Plat .....	18-25
• Rivers Turn 1st Addition Plat .....	26
• Rivers Turn 2nd Addition Plat.....	27
• Rivers Turn 3rd Addition Plat.....	28



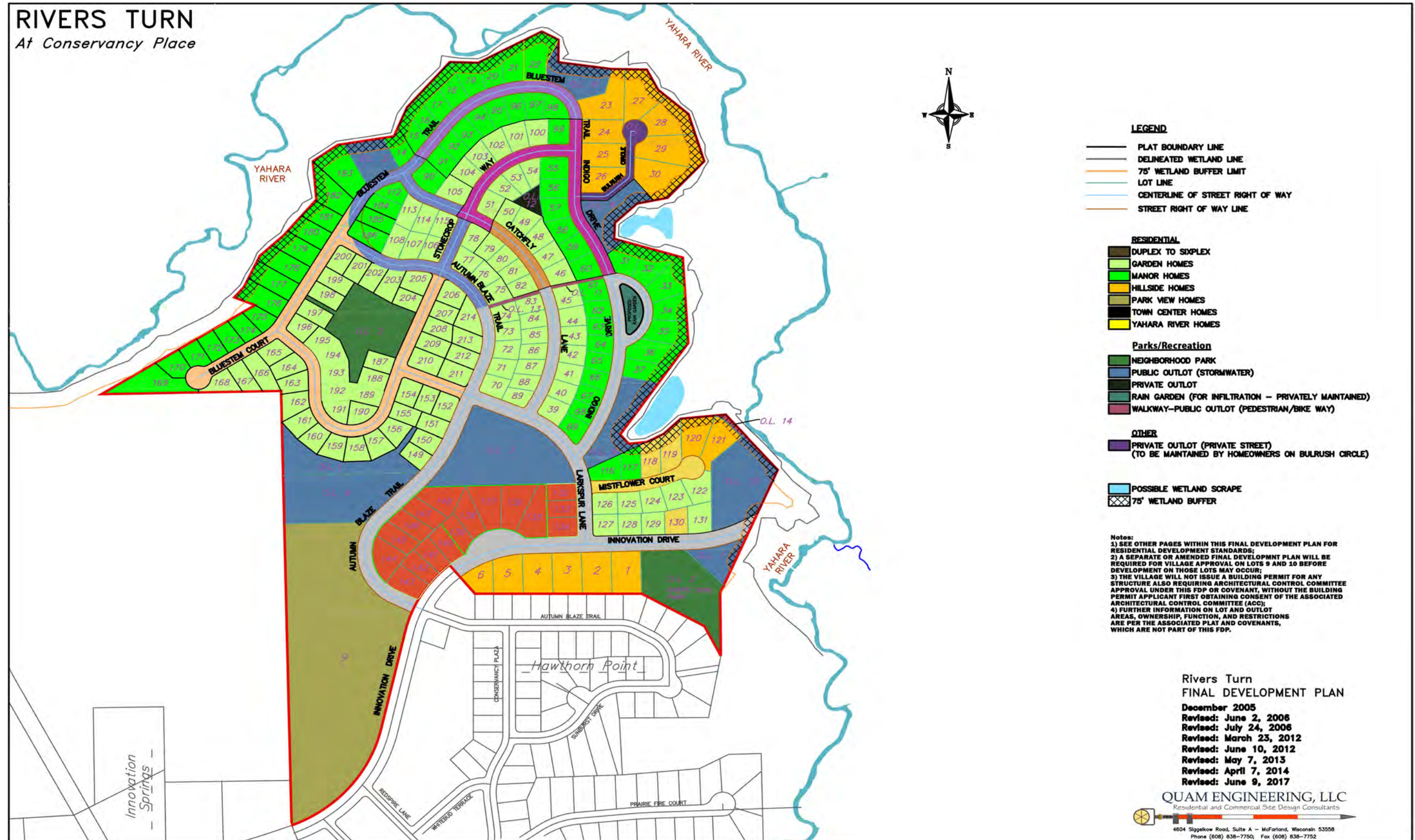
**R**ivers Turn is a 131.25 acre development. Located in the Village of DeForest, Wisconsin. Rivers Turn is part of Conservancy Place, an approved Planned Unit Development. The subdivision is surrounded by residential development and agricultural lands. I-90/94 (interstate highway) is directly west of Conservancy Place. CTH CV is east of Conservancy Place, and STH 19 is approximately 1.5 miles south of Windsor Road.

**Conceptual Phasing Schedule:**

Phase 1a - 2006	Phase 3: 2015
Phase 1b - 2012	Phase 4: 2018
Phase 2a - 2013	Phase 5: 2020
Phase 2b - 2014	









### Dwelling Unit Calculation

Lot #	Housing Type	Number of Lots
14-22, 31-37, 55-69, 90-99, 112, 116-119, 135-139, 144-148, 169-186	Manor Homes (Single Family Residential)	74
1-6, 23-30, 120-121	Hillside Homes (Single Family Residential)	16
39-54, 70-89, 100-108, 113-115, 122-134, 140-143, 149-168, 187-214	Garden Homes (Single Family Residential)	113
9	Park View Homes (PVH)	1 Lot (269 DU)^
7***	Town Center Homes (TCH)	0 Lots***
38*	Yahara River Homes (YRH)	0 Lots*
10#	Community Park/DeForest School Site	0 Lots#
OL 2	Neighborhood Park	1 Lot
OLs 1, 3-6, 8-10	Public Outlot (Stormwater)	8 Lots
OL 12	Private Outlot	1 Lot
OL 7	Private Outlot (Private Street)	0 Lots****
OL 11, 13, 14	Walkway - Public Outlot (Pedestrian/Bike Way)	3 Lots
Maximum Dwelling Units:		472

#### Notes:

Unit count based on density set in PDP. Final unit count to be set in separate or amended FDP/Site Plan for lot 9.

\* Lot 38 removed as part of March 2012 update.

\*\*\* Lot 7 replatted to single-family homes in April 2014 update.

\*\*\*\* Private Outlot (Private Street) was dedicated to the Village in 2016 for a public street.

^ One 2.6 acre lot removed in April 2014 update. Density of 19 units/acre for a ~ 14.17 gross acre lot.

# Lot 10 removed as part of June 2017 FDP amendment and March 2018 Preliminary Development Plan update. There will be no community park or Deforest School Site in Rivers Turn



## Garden Homes (GH)

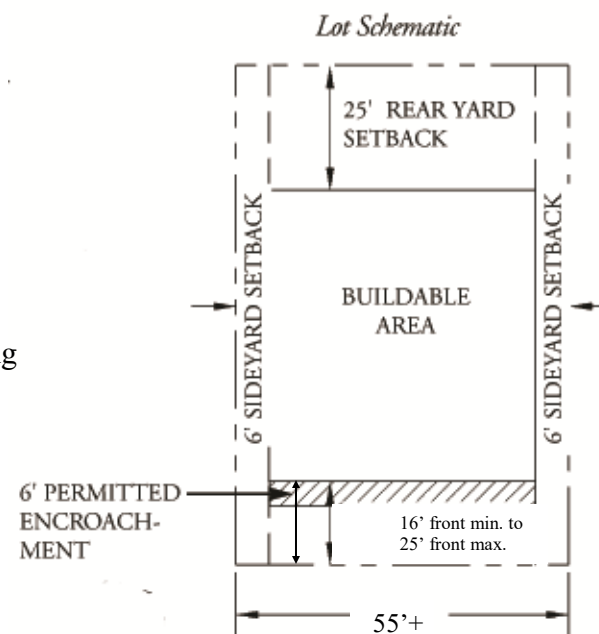
Garden Homes represent the most urban detached single-family setting within Conservancy Place. Lot design standards in this district consist of narrower home sites and reduced setbacks. The minimum lot size is 6,400 square feet. Particular attention to architecture is necessary for these lots given the reduced setbacks and relative proximity to the sidewalk and street. The goal of the district is to create a pedestrian-focused streetscape among small to medium sized lots.

Approximate Gross Acreage	23.37 acres
Approximate Proposed Dwelling Units	113 units
Approximate Gross Density	2.74 dwelling units/acre

### Lot Requirements

Minimum Lot Area	6,400 square feet
Minimum Lot Width (at min. setback line)	55 feet
Minimum Corner Lot Width	60 feet
Minimum Front Yard Setback	16 feet*
Maximum Front Yard Setback	25 feet*
Minimum Side Yard Setback	6 feet
Minimum Corner Lot Side Yard Setback	15 feet
Minimum Rear Yard Setback	25 feet
Maximum Building Height	35 feet
Minimum Paved Surface Side Setback	2 feet
Required Off-Street Parking and Loading	Two off-street parking stalls per lot

Maximum Impervious Surface Ratio	50%
Maximum Floor Area Ratio	50%



#### Notes:

- Lot requirements originally obtained from the 2003 PDP. The lot requirements listed on this FDP page shall control in the event of any conflict with requirements listed for this district in the PDP.
- Lots 128-131 shall be allowed a maximum 22 foot wide vehicular access point for driveways along Innovation Drive with a minimum separation of 95 between each driveway access. Said access locations shall be as denoted on the final plat creating said lots as approved by the Village of DeForest.

\*Garden Home lots 134 and 140-143 shall have a front setback between 20 and 30 feet for a front yard along Innovation Drive .

#### Permitted Encroachments:

Front porches, balconies, open porches and covered walkways may encroach a maximum of 6' into the front yard setback. Corner lot porches and bay windows may not encroach the vision triangle of defined in the Village of DeForest Zoning Code.

Bay windows may encroach side yard setbacks. Roof eaves may not extend over a property line or a utility easement.

*Character Images from the Preliminary Development Plan*



*Note: Images are used here to portray character, relationship to street, massing, roof forms and scale. The components in the images may not be final design.*

*Location Map*





## Manor Homes (MH)

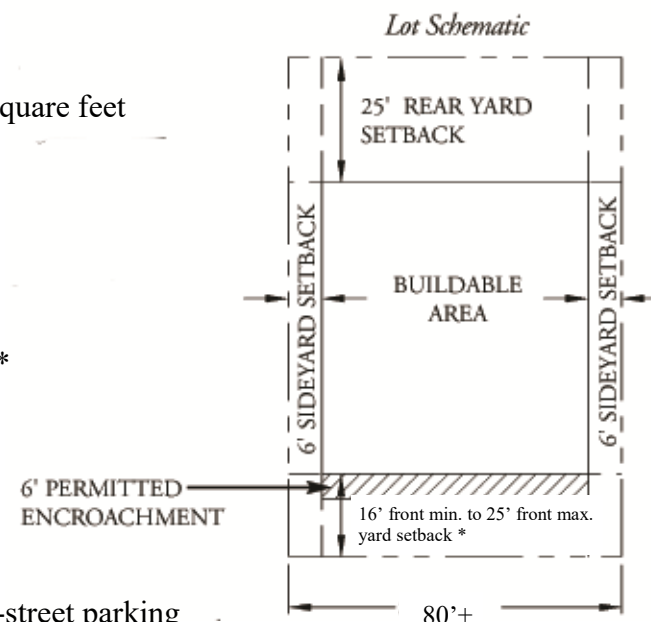
Manor Homes are the second largest home sites within Conservancy Place. Lots contain a minimum of 10,500 square feet. Manor Home sites are generally located adjacent to the Yahara River Environmental Corridor, offering exceptional views into the natural environment. Particular attention to architecture will again be important on these lots given the reduced front yard setbacks.

Approximate Gross Acreage	32.61 acres
Approximate Proposed Dwelling Units	74 units
Approximate Gross Density	1.87 dwelling units/acre

### Lot Requirements

Minimum Lot Area	10,500 square feet
Minimum Lot Width (at min. setback line)	80 feet
Minimum Corner Lot Width	85 feet
Minimum Front Yard Setback	16 feet*
Maximum Front Yard Setback	25 feet*
Minimum Side Yard Setback	6 feet
Minimum Corner Lot Side Yard Setback	15 feet
Minimum Rear Yard Setback	25 feet**
Maximum Building Height	35 feet
Minimum Paved Surface Side Setback	2 feet

Required Off-Street Parking and Loading	Two off-street parking stalls per lot as required by Section 15.07 Single Family House
Maximum Impervious Surface Ratio	45%
Maximum Floor Area Ratio	50%
Permitted Encroachments	Front porches, balconies, open porches and covered walkways may encroach a maximum of 6' into the front yard setback. Corner lot porches and bay windows may not encroach the vision triangle of defined in section 15.04 of the Village of DeForest Zoning Code. Bay windows may encroach side yard setbacks. Roof eaves may not extend over a property line or a utility easement.



Character Images from the Preliminary Development Plan



Note: Images are used here to portray character, relationship to street, massing, roof forms and scale. The components in the images may not be final design.

Location Map



Note: Lot requirements originally obtained from the Manor Homes page of the approved Preliminary Development Plan. The lot requirements listed on this FDP page shall control in the event of conflict with the associated PDP lot requirements.

\*Manor Home lots 135-139 and 144-148 shall have front setbacks between 25 and 35 feet. Manor Home lot 169 shall have a minimum setback of 22 feet from both the street right-of-way line and the south lot line, and no maximum setback from any lot line. The rear setback shall be from the northwest lot line and is a minimum of 25 feet. The side setback, abutting Lot 170, is a minimum of 6 feet.

\*\*Manor Home Lot 116 shall have a minimum rear yard setback of 10 feet, provided that no building may be located within any recorded easement or negatively affect drainage flows per the Rivers Turn First Addition plat and master grading plan.



## Hillside Homes (HH)

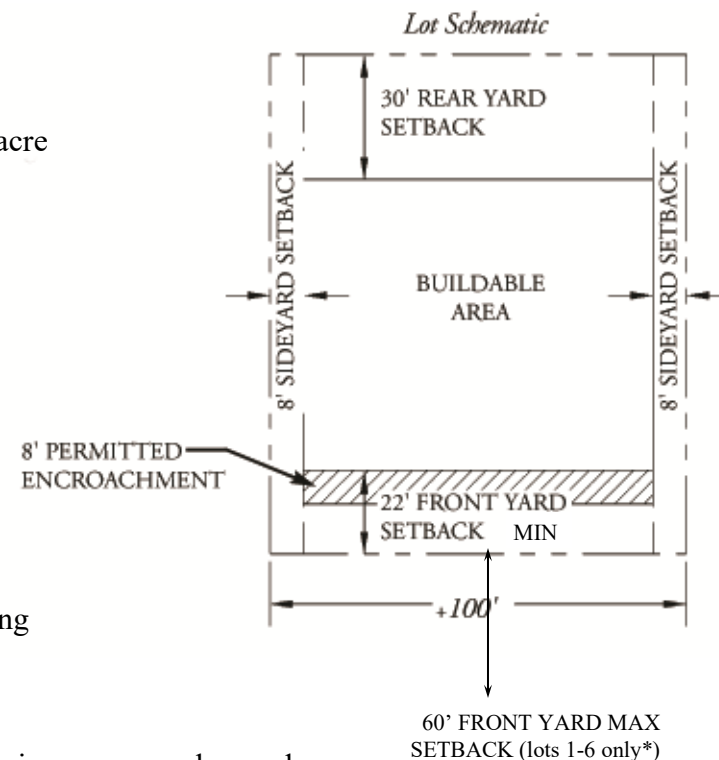
Hillside Homes are the largest home sites within Conservancy Place. Lot sizes are a minimum of 12,000. The majority of these sites are located adjacent to the Yahara River Environmental Corridor system and offer exceptional views of the natural environment. The goal of Hillside Homes district is to allow large homes to be built on a lot, while preserving the existing woodlands. This will be accomplished through the Covenants and Deed Restrictions that will be established at the time of FDP submittal. In addition, wider lots assist in tree preservation and provide opportunities for side loaded garages, giving the streetscape a much cleaner appearance.

Approximate Gross Acreage	8.70 acres
Approximate Proposed Dwelling Units	16 units
Approximate Gross Density	1.26 dwelling units/acre

### Lot Requirements

Minimum Lot Area	12,000 square feet
Minimum Lot Width (at setback line)	100 feet
Minimum Front Yard Setback	22 feet
Maximum Front Yard Setback (lots 1-6)	60 feet
Minimum Side Yard Setback	8 feet
Minimum Corner Lot Side Yard Setback	20 feet
Minimum Rear Yard Setback	30 feet
Maximum Building Height	35 feet
Minimum Paved Surface Side Setback	5 feet
Required Off-Street Parking and Loading	Two off-street parking stalls per lot
Maximum Impervious Surface Ratio	40%
Maximum Floor Area Ratio	45%
Permitted Encroachments	Front porches, balconies, open porches and covered walkways may encroach a maximum of 6' into the front yard setback. Corner lot porches and bay windows may not encroach the vision triangle of defined in section 15.04 of the Village of DeForest Zoning Code.

Bay windows may encroach side yard setbacks.  
Roof eaves may not extend over a property line or a utility easement.



\* Also see the Permitted Access and Mature Tree Line Exhibit for lots 1 through 6 in Section 6 of this document.

*Character Images from the Preliminary Development Plan*



*Location Map*



*Note: Images are used here to portray character, relationship to street, massing, roof forms and scale. The components in the images may not be final*

Note: Lot requirements originally obtained from the 2003 PDP. The lot requirements listed on this FDP page shall control in the event of any conflict with requirements listed for this district in the PDP.



**Rivers Turn**  
**Architectural Standards**

The following architectural standards will apply to single family homes within Rivers Turn. Unless specified otherwise, they will apply uniformly to Garden Homes, Manor Homes and Hillside Homes zoning categories.

New principal structures and exterior structural alterations of principal structures will also be subject to Residential Building Standards and Declaration of Protective Covenants, which will be created and continuously maintained, as provided in those documents, as part of the development.

**Minimum Floor Areas (square feet)**

	Garden Homes	Manor Homes	Hillside Homes
Single Story - Main Level	1,500	1,700	2,200
Bi-Level, Raised Ranch, Tri-Level – Main Levels	1,500	1,700	2,200
Two-Story - Total	1,800	2,200	2,800
Two-Story - Main Level	1,000	1,100	1,400

For Single Story, Main Level is defined as the level totally above exterior finished grade. For Bi-Level, Raised Ranch and Tri-Level, the Main Levels are defined as those levels totally above the exterior finished grade. For Two-Story, Main Level is defined as the first level totally above exterior finished grade. In all cases, exposed basements are not included in floor area unless all exterior walls are above exterior finished grade.

**Natural Materials**

The use of natural materials is encouraged and a minimum percentage, as specified below, must be provided on the wall sections facing the street along the primary façade. As used within the Architectural Standards section, the primary façade is defined as the side of the house parallel to or facing the street. In the case of a corner lot, the primary façade is the side of the house containing the front entryway that is parallel to or facing the street.

Natural materials include: brick, stone, wood clapboard, cement board, stucco, Exterior Insulated Finish Systems (EIFS), cast (cultured) stone, finished pre-cast concrete and EIFS brick.

	Garden Homes	Manor Homes	Hillside Homes
Minimum Percentage Required Along Primary Façade Sections Facing Street	35%	40%	45%

For the purposes of the natural materials requirement, no part of a gable section shall be considered part of the primary façade.

**Roofing Materials**

Acceptable pitched roof coverings are: architectural asphalt or fiberglass shingles; clay or cement tile; slate, sheet metal shingles; standing seam; and, wood shingles and shakes.

**Windows**

Windows shall be sized, aligned and spaced according to the precedents set by the architectural style of the home. Window openings on each floor shall be consistent in size and sill height with one another with the exception of ornamental styles (dormer windows, Palladian, fanlight, and art glass)<sup>1</sup>.

Each elevation of the home must have at least one full-sized window. Window glass on the primary façade shall comprise no less than 20% of the exterior wall surface. Exterior wall surface shall mean the area of the primary facade, as defined above, facing the street that is above the window sill height.

**Garage Width**

Garages shall be designed and located such that they are not the dominant architectural element on the front building façade. To comply with this standard, the width of garages with front-facing garage doors located on the primary façade of all single-family homes must be no more than 50 percent of the overall home width. Garages shall be finished in keeping with the materials selected for the home.

**Landscaping Requirements**

Except for shrub, garden and natural or prairie landscaped areas, all front, rear and side yard areas must be sodded or seeded and mulched with a minimum of 50% Bluegrass seed. Erosion matting must be used in drainage swales and seeded areas with slopes greater than 10%. Any erosion must be promptly cleaned up and repaired. Landscaping for each home must have the following point minimums:

	Minimum Landscape Points	Minimum Front Yard Points	Minimum Side Yard Points
Garden Home	650	325	100
Manor Home	725	365	130
Hillside Home	800	400	160

Minimum side yard points are for both side yards combined. No park grade materials will be permitted. All plant materials must meet American Nurserymen Standards. All required plant materials must be installed within 60 days of occupancy of the home except that any rain garden, swale or depression used for storm water infiltration must be completed with the final site grading. In the event weather conditions do not permit landscaping within 60 days of occupancy, landscaping must be completed as soon as possible as weather permits.



Landscape points will be earned according to the following schedule:

<u>Landscape Element</u>	<u>Point Value</u>
(A) Small shade tree (1.5”-1.9” caliper at 6” from roots)	75
(B) Medium shade tree (2”-2.4” caliper at 6” from roots)	100
(C) Large shade tree (2.5”-2.9” caliper at 6” from roots)	150
(D) Extra large shade tree (3”+ caliper at 6” from roots)	200
(E) Small evergreen tree (3-4.5’ in height when planted)	25
(F) Medium evergreen tree (5’-6.5’ in height when planted)	50
(G) Large evergreen trees (7’+ in height when planted)	100
(H) Evergreen shrubs (18’ minimum diameter)	20
(I) Small deciduous shrubs (18”-35” in diameter)	10
(J) Medium deciduous shrubs (36”-59” in diameter)	15
(K) Large deciduous shrubs (60”+ in diameter)	25
(L) Decorative retaining walls (Points are per face foot for walls in front or side yards perpendicular to or facing the street. Boulders, timbers and stones only; no concrete)	3
(M) Paver stone walks, paths or patios (Points are per square foot; no driveways included)	1
(N) Prairie lawns (Points are per square foot)	1

Existing vegetation, trees and shrubs may be included in the point totals if they are properly protected and maintained during the construction process and located as such on the landscape plans submitted to the Committee for approval. The maximum point total for any individual tree is 200.

### Accessory Structures

Accessory structures will be permitted in the rear yard only and must meet the following standards:

Flooring	The structure must be set on a poured concrete floor.
Maximum Floor Area	100 square feet
Maximum Wall Height	8’ from floor
Maximum Roof Height (to peak)	13’ from floor
Side Yard Setback	The shortest actual side yard setback of the principal structure, on the side where the accessory structure is proposed to be located, plus three feet.
Rear Yard Setback	The greater of 10’ or the limit of the environmental corridor, if any, within the lot.
Construction	The structure must be constructed with the same materials and colors as the principal structure.

### Waivers

Upon the written request of the Architectural Control Committee or applicant for a building permit, the Zoning Administrator may grant a waiver or modification to one or more of the Rivers Turn Architectural Standards included on this page and the previous page. The Zoning Administrator shall grant a waiver or modification only where he or she first determines that all of the following criteria are met:

1. The purpose and character of the PDP, FDP, and district in which the property is located will not be compromised;
2. The waiver or modification will not have an undue negative impact on nearby properties;
3. The building plans include compensating architectural elements; and
4. The waiver or exception has been initiated or recommended by the Architectural Control Committee.

The Zoning Administrator shall make all determinations related to requests for waivers or exceptions in writing, with copies provided to the requestor and Architectural Control Committee. The Zoning Administrator shall have 14 days from the date of receipt of the written request for a waiver or exception and building plans to approve, approve with conditions, or reject the request. If no action is taken by the Zoning Administrator within the 14 day review period, the request shall be deemed granted. If not satisfied with the determination of the Zoning Administrator, the requestor or Architectural Control Committee may appeal the determination to the Village Planning and Zoning Commission, which shall use similar criteria in its consideration of such appeal.

### Amendment and Modifications

Beyond waivers as authorized above, any amendments or modifications to the above Architectural Standards will require an amendment to this FDP, which must be submitted for approval pursuant to Section 15.15 of the Village ordinances.



## Yahara Rivers Homes (YRH)

Yahara River Homes are owner-occupied condominium development arranged along the Yahara River Environmental Corridor. The condominium design and layout will allow the flexibility to accommodate the natural slopes of the sites while adding to the wide range of housing types and options in a diversified community.

Yahara River Homes will require separate FDP approval at the time they are developed. Certain lot requirements/restrictions for these individual lots will be determined at that time.

Approximate Gross Acreage	0 acres*
Approximate Proposed Dwelling Units	0 units*
Approximate Gross Density	0 dwelling units/acre*

### Lot Requirements

Minimum Lot Area	Will be set in FDP
Minimum Lot Width (at min. setback line)	Will be set in FDP
Minimum Front Yard Setback	18 feet
Minimum Side Yard Setback	Will be set in FDP
Minimum Building Separation	10 feet
Minimum Rear Yard Setback	Will be set in FDP
Maximum Building Height	35 feet
Minimum Paved Surface Side Setback	Varies (Will be set in FDP)
Required Off-Street Parking and Loading	As required by the Village of DeForest Zoning Ordinance. All units facing public right-of-way shall have parking located to the rear of the building.
Maximum Impervious Surface Ratio	60%
Maximum Floor Area Ratio	Will be set in FDP
Permitted Encroachments	Front porches, balconies, open porches and covered walkways may encroach a maximum of 8’ into the front yard setback. Corner lot porches and bay windows may not encroach the vision triangle as defined in the Village of DeForest Zoning Code.
	Bay windows may encroach side yard setbacks and will require approval by the Architectural Control Committee. Roof eaves may not extend over a property line or a utility easement.
* YRH lot removed as part of March 2012 update.	Driveway access to Innovation Drive from these units shall be minimized where possible.

Character Images from the Preliminary Development Plan



Note: Lot type is unmapped with March 2012 updates, but remains in the FDP for possible future designations.



Note: The exact number of dwelling units will be set at the time of a separate Final Development Plan. The Preliminary Development Plan (PDP) set approximate acreages and dwelling units.

Note: Images are used here to portray character, relationship to street, massing, roof forms and scale. The components in the images may not be final design.



## Town Center Homes (TCH)

Town Center Homes are owner-occupied attached residences which form the urban core for the residential neighborhoods. The Rivers Turn location provides pedestrian-friendly proximity to the school site and trail network. Current plans for the Town Center Homes include individual private entries, private open spaces and architectural elements that may include porches and bay windows.

Town Center Homes will require separate FDP approval at the time they are developed. Certain lot requirements/restrictions for these individual lots will be determined at that time.

Approximate Gross Acreage	0 acres*
Approximate Proposed Dwelling Units	0 units*
Approximate Gross Density	8-10 dwelling units/acre

### Lot Requirements

Minimum Lot Area	12,000 square feet
Minimum Lot Width (at min. setback line)	80 feet
Minimum Front Yard Setback	16 feet
Maximum Front Yard Setback	20 feet
Minimum Side Yard Setback	Will be set in FDP
Minimum Corner Lot Side Yard Setback	Will be set in FDP
Minimum Building Separation	Will be set in FDP
Minimum Rear Yard Setback	Will be set in FDP
Maximum Building Height	35 feet
Minimum Paved Surface Side Setback	Will be set in FDP
Required Off-Street Parking and Loading	As required by Section 15.07 of the Village of DeForest Zoning Ordinance.
Maximum Impervious Surface Ratio	90%
Maximum Floor Area Ratio	1.0

#### Permitted Encroachments:

Front porches, balconies, open porches and covered walkways may encroach a maximum of 8’ into the front yard setback. Corner lot porches and bay windows may not encroach the vision triangle as defined in the Village of DeForest Zoning Code.

Bay windows may encroach side yard setbacks and will require approval by the Architectural Control Committee. Roof eaves may not extend over a property line or a utility easement.

\*TCH lot removed as part of April 2014 update.

*Character Images from the Preliminary Development Plan*



*Image courtesy of Humphreys & Partners, L.P.*

*Note: Images are used here to portray character, relationship to street, massing, roof forms and scale. The components in the images may not be final design.*

Note: Lot type is unmapped with April 2014 updates, but remains in the FDP for possible future designations.

*Note: The exact number of dwelling units will be set at the time of a separate Final Development Plan. The Preliminary Development Plan (PDP) set approximate acreages and dwelling units.*



## Park View Homes (PVH)

Park View Homes are important residential components comprising the rental portion of Conservancy Place. The goal of this district is to add to the diversity of housing in the community by offering a wide range of units from efficiencies through three bedroom units, some of which may contain limited commercial uses on the first floor. The central location of these homes provides access to a maximum range of amenities within easy walking distance. These amenities include shopping and services in the Town Center Market Place, and both active and passive recreational uses in a variety of open spaces. These multi-story buildings help transition the scale from those located in Innovation Springs Business Park to the more fine texture of Town Center Homes and single family residences to the east. The Conservancy Place PDP enables a range of uses as permitted and conditional uses in the Park View Homes district, in addition to multiple family rental housing. The PDP, also provides additional standards for parking.

To aid in creating a high quality environment, most parking is planned to be internalized or under the buildings. Limited parking for visitors may be provided in between the streetscape and buildings. Access to these parking areas is minimized and will be predominately located on side streets to limit the number of intersections along the main neighborhood collector, Innovation Drive. By limiting access points, pedestrian conflicts will be reduced, creating a more safe and aesthetic environment.

Park View Homes will require separate FDP approval at the time they are developed. Certain lot requirements/restrictions for these individual lots will be determined at that time.

Approximate Gross Acreage	14.17 acres
Approximate Proposed Dwelling Units	269 units
Approximate Gross Density	15-25 dwelling units/acre

### Lot Requirements

Building development on any Park View Homes lot shall require approval of a separate Final Development Plan prior to construction, using site plan, and FDP submittal requirements in the Village's zoning code. The exact number of dwelling units on each Park View Homes lot will be set at the time of approval of a Final Development Plan for that lot.

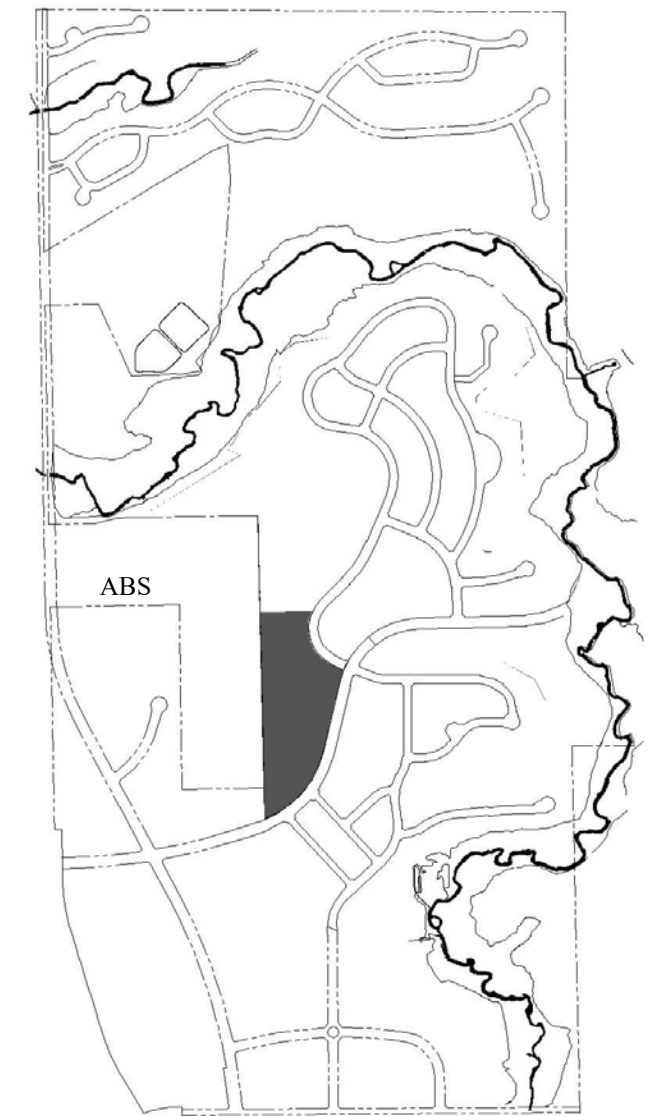
Driveway access to Innovation Drive from these units shall be minimized where possible.

*Character Images from the Preliminary Development Plan*



*Note: Images are used here to portray character, relationship to street, massing, roof forms and scale. The components in the images may not be final design.*

*Location Map*



*Note: The exact number of dwelling units will be set at the time of a separate Final Development Plan. The Preliminary Development Plan (PDP) set approximate acreages and dwelling units.*



## Stormwater Management (SW)

Stormwater Management and infiltration are important components of design criteria for the development of Conservancy Place. Best Management Practices (BMPs) found within the Dane County Erosion Control and Stormwater Management Manual will be implemented on all development sites to reduce the pollutant loads and protect the Yahara River ecosystem. By incorporating these BMPs in series or sequence, one can take advantage of each component's primary function and not only maximize pollutant removal, but minimize costs and reduce future maintenance burdens while blending into the natural landscape.

Stormwater Management is an integral component of both the physical design and aesthetic experience of Conservancy Place. The stormwater system of swales, ponds and functional open space is planned to filter sediments, reduce pollutants and recharge groundwater from runoff created on-site. This integrated system will accommodate stormwater volumes from as low as two-year storm events to the 100-year storm event without increasing the release rate of water from the site or adversely affecting the Yahara River Corridor.

The overland flow and infiltration system of Stormwater Management will have strong impacts on the physical design of the neighborhoods by creating usable open space corridors throughout Conservancy Place. Corridors will serve the dual purpose of accommodating infiltration and transport of stormwater runoff while supplying important recreational corridors for residential use and exploration by residents. These corridors are significantly larger in size and disbursement than traditional curb and gutter systems, resulting in a more complete open space network, expanding recreational opportunities.

### Typical BMPs may include:

- Stormwater retention/detention ponds
- Bioretention filters
- Deep Tilling
- Oil and Grease Filters
- Grassed infiltration swales
- Pervious paving in low use parking areas
- Reduced street cross-section where applicable to reduce excess impervious surfaces
- Rooftop stormwater infiltration/Green Roofs
- Street sweeping schedule for streets and parking areas
- Rain gardens
- Stormwater swales paralleling roads

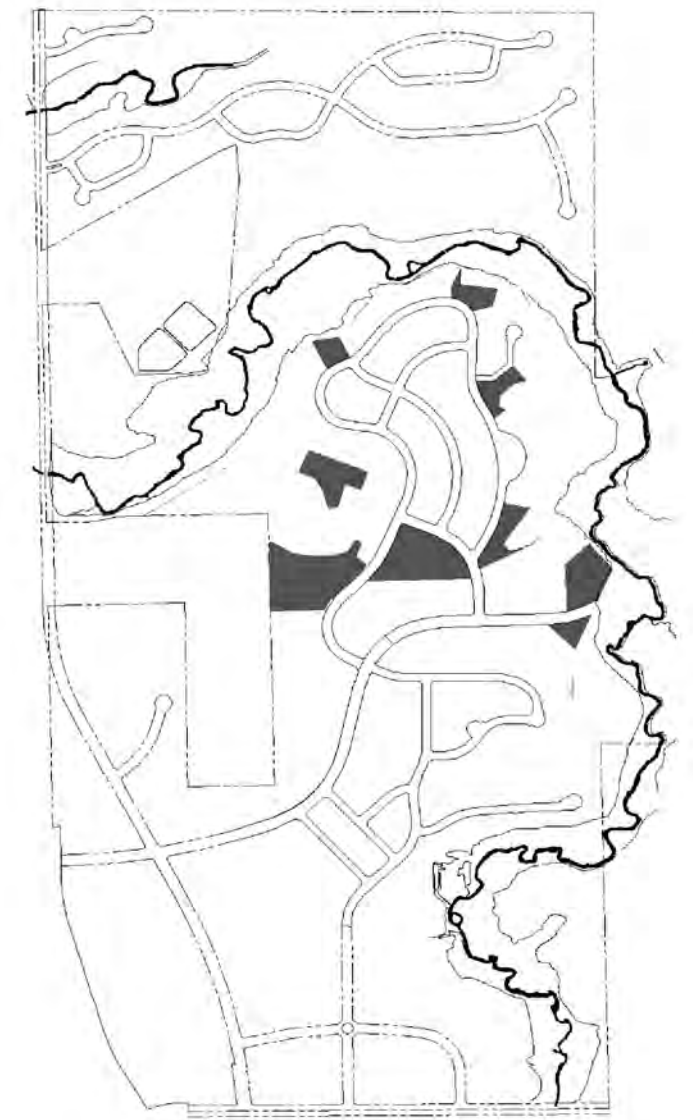
Detailed design and locations for the Stormwater Management system will be included within the final engineering plans. For a preliminary location of the stormwater handling facilities, see the location map to the right.

The maintenance of vegetation within roadside swales shall be the responsibility of either the Association or the Owners.

The ownership and maintenance of most other stormwater management areas is the responsibility of the Village.



*Location Map*



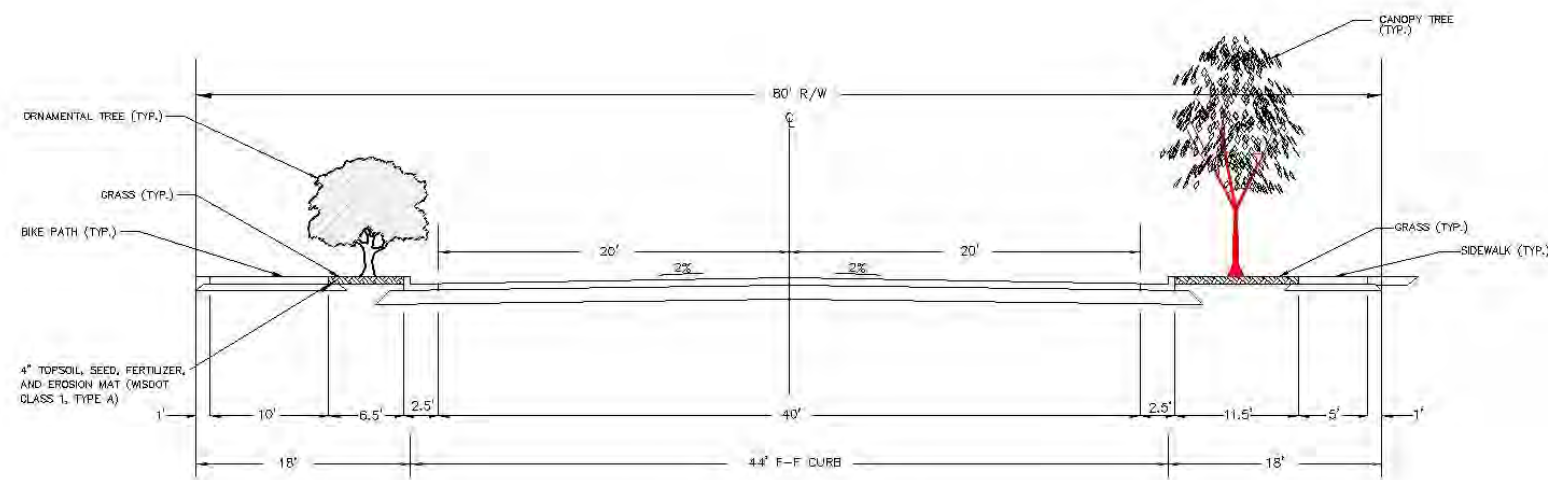




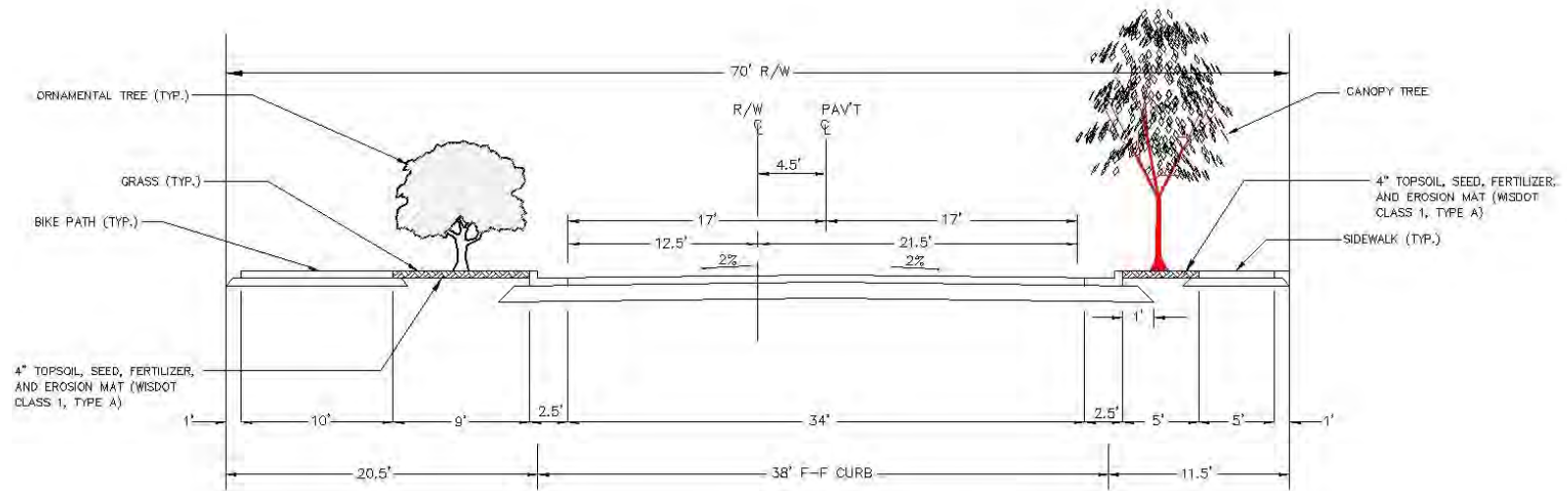
Note  
<sup>1</sup>Depiction of swale is conceptual only. Actual design may vary. Combination of storm sewer and ditches may be required depending on soil conditions.  
<sup>2</sup>The number and species of street trees will reflect the requirements of the landscape ordinance. Actual tree spacing and locations

## CONCEPTUAL LANDSCAPE PLAN

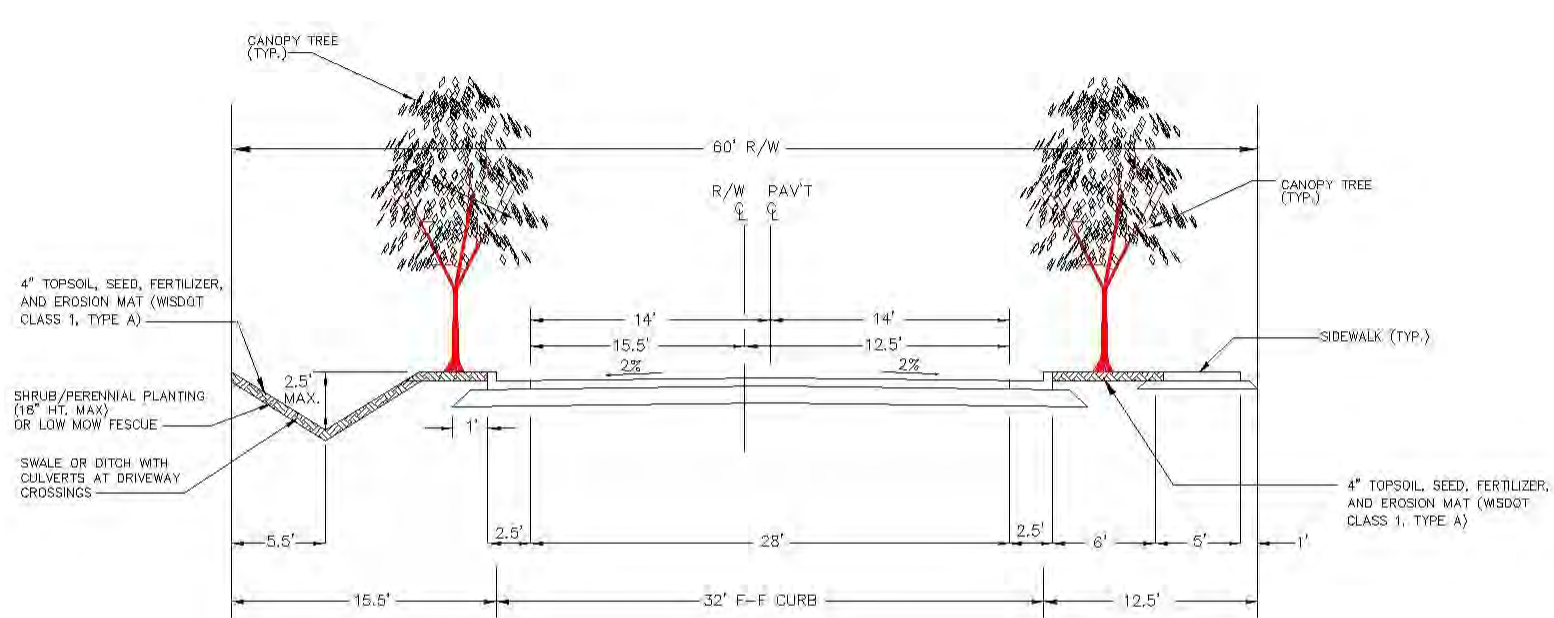




INNOVATION DRIVE

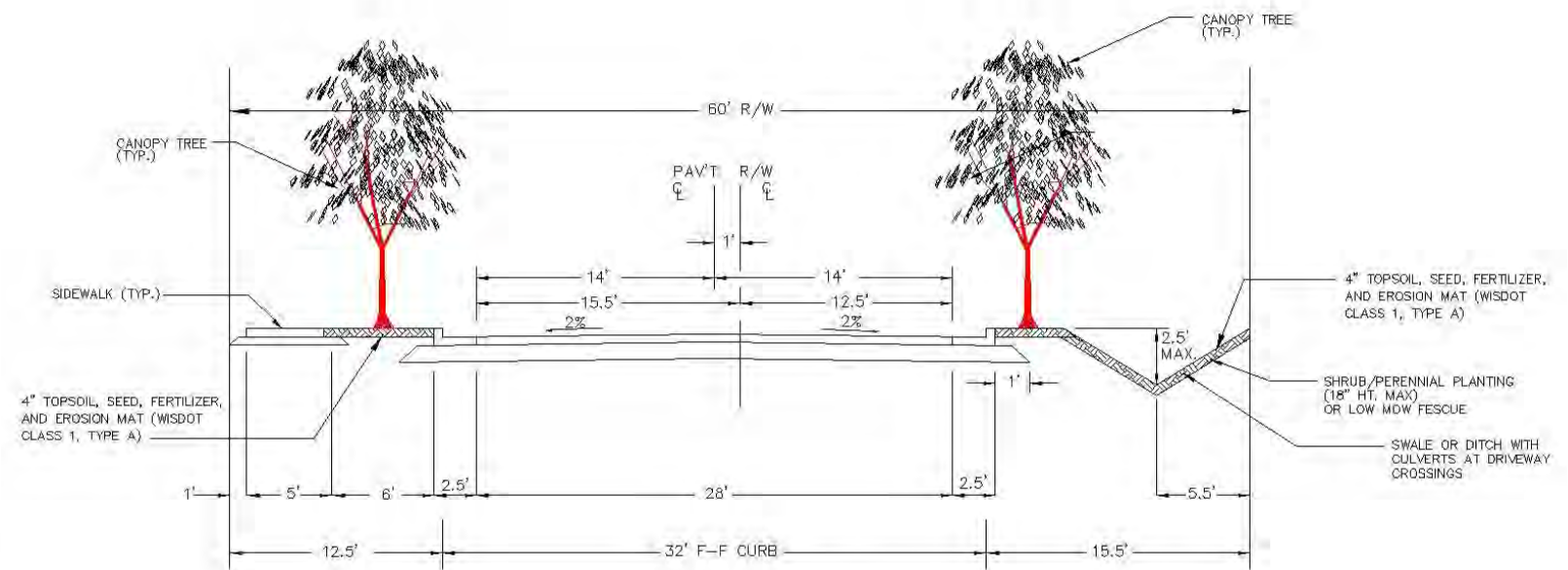


AUTUMN BLAZE TRAIL  
FROM INNOVATION DRIVE TO LARKSPUR LANE  
LARKSPUR LANE



BLUESTEM TRAIL  
FROM STATION 150+29.34 TO STONECROP WAY

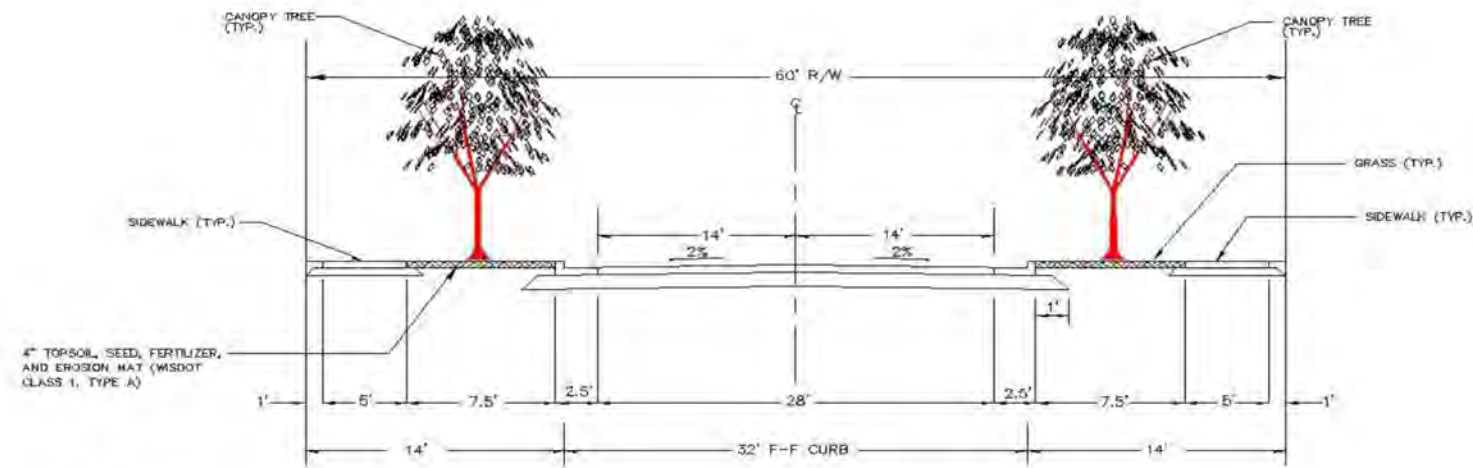
STONECROP WAY  
FROM CATCHFLY LANE TO INDIGO DRIVE/BLUESTEM TRAIL



INDIGO DRIVE  
FROM LARKSPUR LANE TO STONECROP WAY  
CATCHFLY LANE

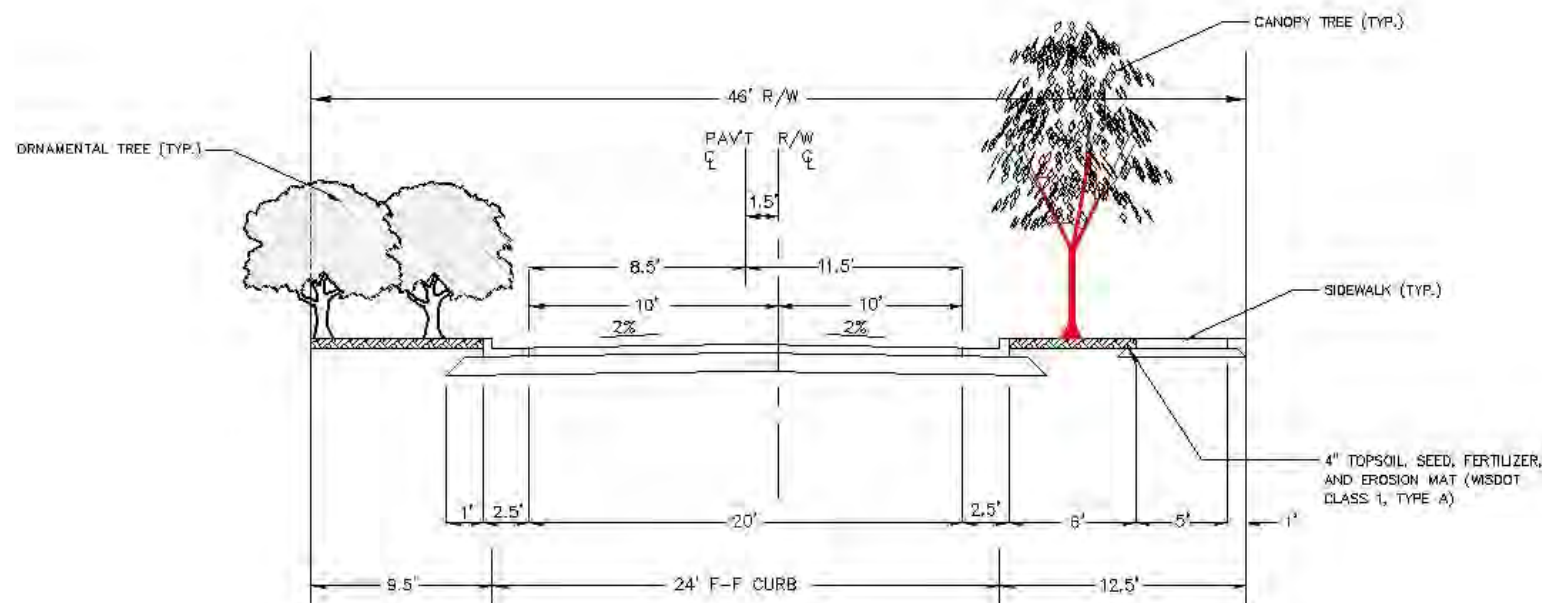
Note: The Village may approve adjustments to the cross-sections included on this page in its approval of detailed engineering plans for the associated development phase.



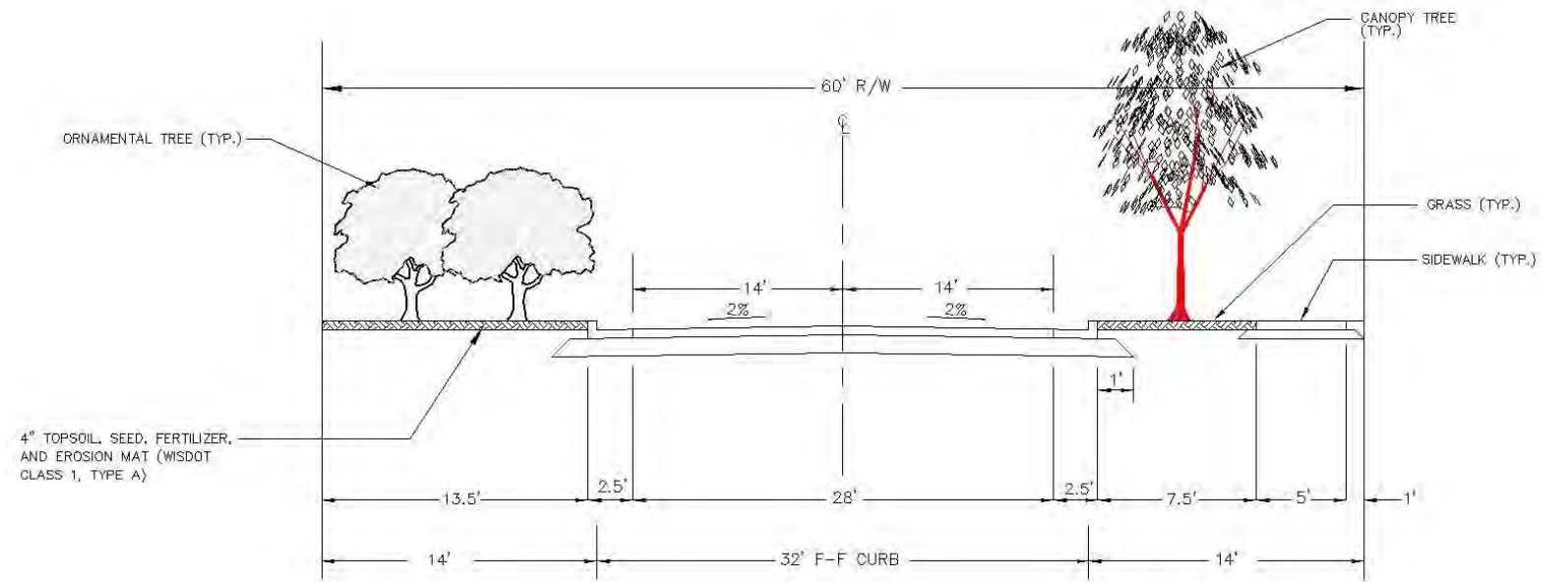


**AUTUMN BLAZE TRAIL**  
FROM LARKSPUR TO BLUESTEM TRAIL  
**BLUESTEM COURT**  
**STONECROP WAY**  
FROM AUTUMN BLAZE TRAIL TO BLUESTEM TRAIL

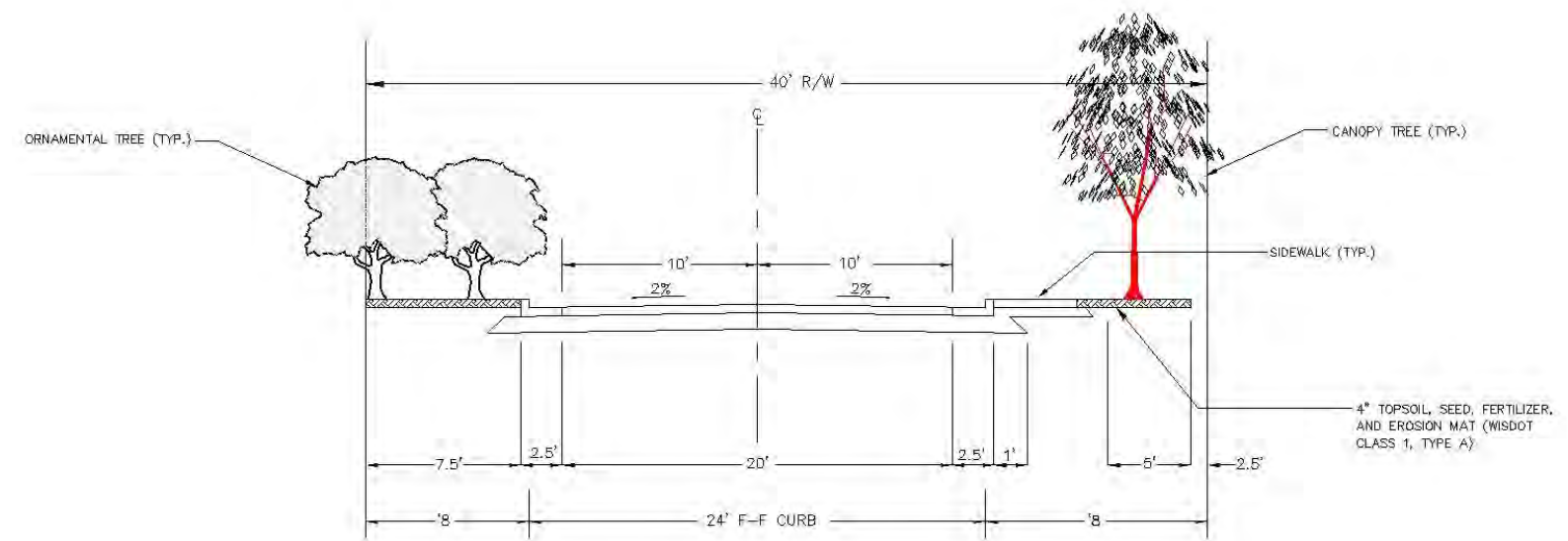
**BLUESTEM TRAIL**  
FROM STONECROP WAY TO BLUESTEM COURT  
**MISTFLOWER COURT**  
**LARKSPUR LANE**  
FROM AUTUMN BLAZE TRAIL TO STONECROP WAY



**INDIGO DRIVE (LOOP)**



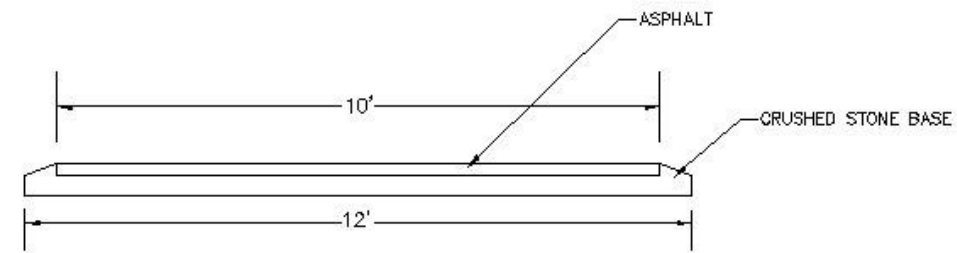
**STONECROP WAY**  
FROM AUTUMN BLAZE TRAIL / BLUESTEM TRAIL TO CATCHFLY LANE



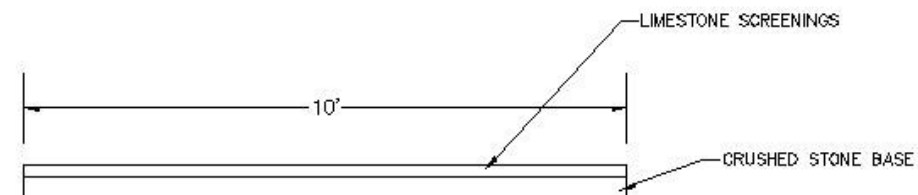
**BULRUSH CIRCLE**

Note: The Village may approve adjustments to the cross-sections included on this page in its approval of detailed engineering plans for the associated development phase.





PEDESTRIAN TRAIL IN OUTLOT 13 (CONCEPTUAL)



PEDESTRIAN TRAILS IN STORMWATER OUTLOTS (CONCEPTUAL)

Note: The Village may approve adjustments to the cross-sections included on this page in its approval of detailed engineering plans for the associated development phase.



### **Relationship to Approved PDP**

The original 2006 Rivers Turn FDP was prepared with reference to the 2003 PDP. The FDP was amended from time-to-time to correspond with subsequent minor amendments to that PDP. In 2018, the Village approved an update to the PDP. Each provision, waiver, and modification within that updated PDP shall apply within the Rivers Turn FDP, except where this FDP or an approved ‘nested FDP’ authorized under it includes specific adjustments to that provision, waiver, or modification.

### **Approved Plats:**

The following pages include the approved plats within the Rivers Turn FDP as of March 2018. The Rivers Turn 3rd Addition Plat had not yet been recorded at the time this Amended FDP was published. The Village also has on file approved Engineering and Stormwater Management Plans associated with each plat and development phase, which are not part of this FDP.



